

**SITE PLAN REVIEW TECHNICAL ADVISORY COMMITTEE  
PORTSMOUTH, NEW HAMPSHIRE**

**WORK SESSION**

**Conference Room A  
City Hall, Municipal Complex, 1 Junkins Avenue**

**2:00 PM**

**March 11, 2025**

**AGENDA**

**2:00 PM**

0 Wentworth House Road  
Sea Level LLC, Owner  
Ambit Engineering, Engineer  
(LUTW-25-2)

**Site Plan Review**

**3:00 PM**

909 Islington Street  
909 West End LLC, Owner  
Ambit Engineering, Engineer  
(LUTW-25-3)

**Parking CUP**

AUTHORIZATION  
Gundalow Project  
187 Wentworth House Road, Portsmouth, New Hampshire

I, Kevin Smart, of the Gundalow Company, hereby authorize representatives of Haley Ward Inc., to represent our interests before land use boards of the City of Portsmouth and any other State and / or federal agency necessary to obtain permits for the above-mentioned property, and to submit any applications and materials related thereto on our behalf. The Gundalow Company will be entering into a lease agreement on the property.

Date: 28 Feb 2025

Kevin Smart  
Kevin Smart, Gundalow Company

AUTHORIZATION

Gundalow Project  
187 Wentworth House Road, Portsmouth, New Hampshire

I, Tom Reis, of Sea Level LLC, hereby authorize representatives of Haley Ward Inc., to represent our interests before land use boards of the City of Portsmouth and any other State and / or federal agency necessary to obtain permits from for the above referenced property, and to submit any applications and materials related thereto on our behalf.

Date: 02/27/2025



\_\_\_\_\_  
Tom Reis, Sea Level LLC



HALEY WARD

200 Griffin Road, Unit 3, Portsmouth, NH 03801  
Phone (603) 430-9282 Fax 436-2315

28 February 2025

Peter Stith, TAC Chair  
City of Portsmouth  
1 Junkins Avenue  
Portsmouth, NH 03801

**RE: Request for TAC Workshop Review at 0 Wentworth House Road, Tax Map 201, Lot 17**

Dear Mr. Stith and TAC Members:

On behalf of Sea Level LLC (Owner) and The Gundalow Company (Applicant), we are pleased to submit the attached plan set for **Workshop Review** for the above-mentioned project and request that we be placed on the agenda for your **March 11, 2025, TAC Workshop Meeting**. The project is the replacement of an existing structure with the associated and required site improvements. We are requesting the Technical Advisory Committee (TAC) review the project as a part of the approval process.

The site currently contains a currently unused structure. The parcel is a 7,000 square foot parcel that is located within the Waterfront Business (WB) District. The applicant has entered into a Lease Agreement with the owner and will re-purpose the site for the construction of a 30-foot by 45-foot Gundalow Maintenance Facility. The building setback requirements do not provide enough buildable area outside the setbacks to construct a useable facility; therefore, Zoning Setback Relief is required. Additionally, we believe there is a need for a Special Exception for the proposed use. The applicant is proposing to connect to the public sewer, water, and power and communications systems located within/along Wentworth House Road.

Please refer to the attached Plan Set for the project details. We look forward to an in-person presentation and TAC review of this submission.

Sincerely,

John Chagnon, PE  
Senior Project Manager



# PROPOSED GUNDALOW MAINTENANCE FACILITY

## 187 WENTWORTH HOUSE ROAD

### PORTSMOUTH, NEW HAMPSHIRE

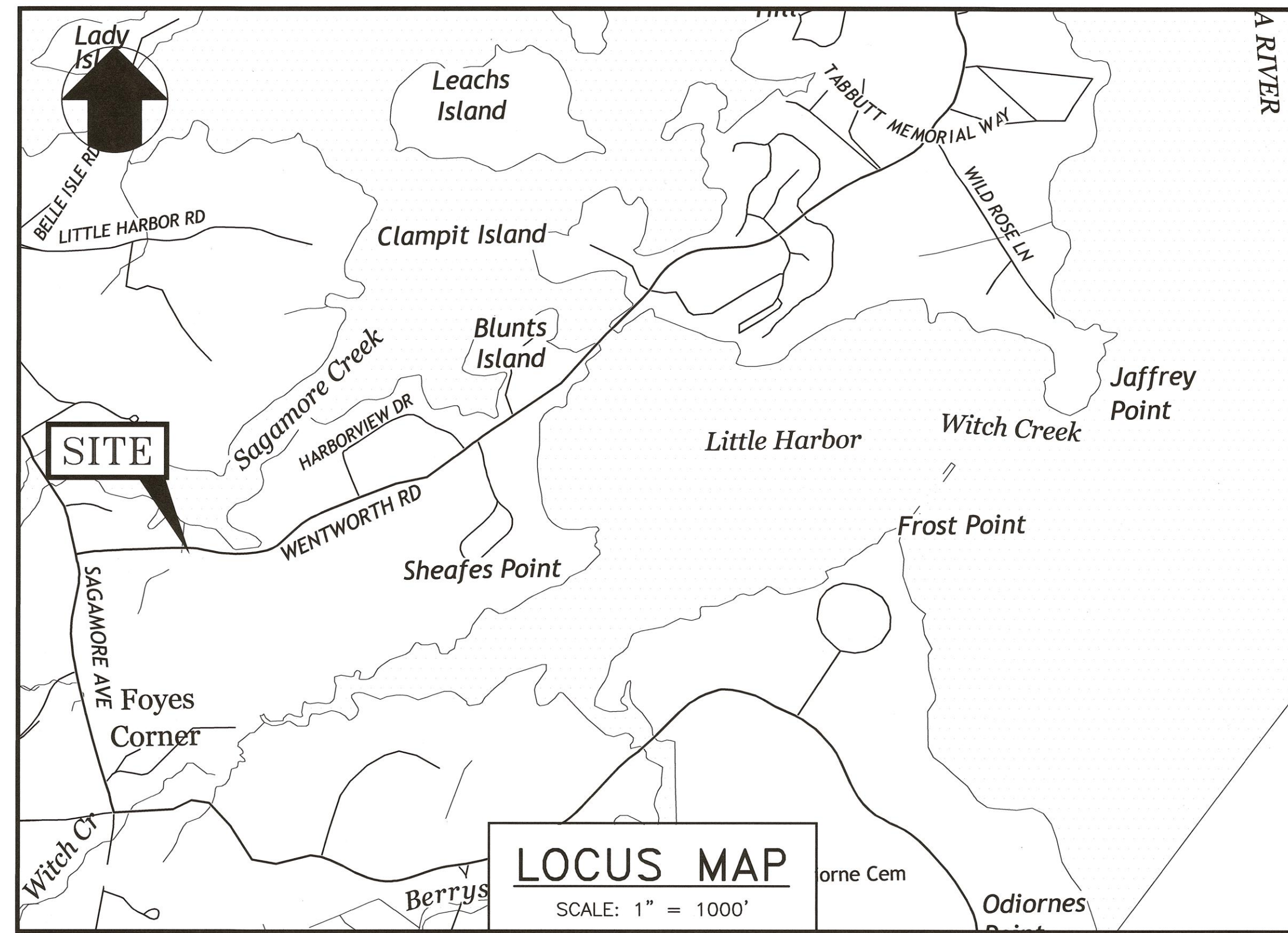
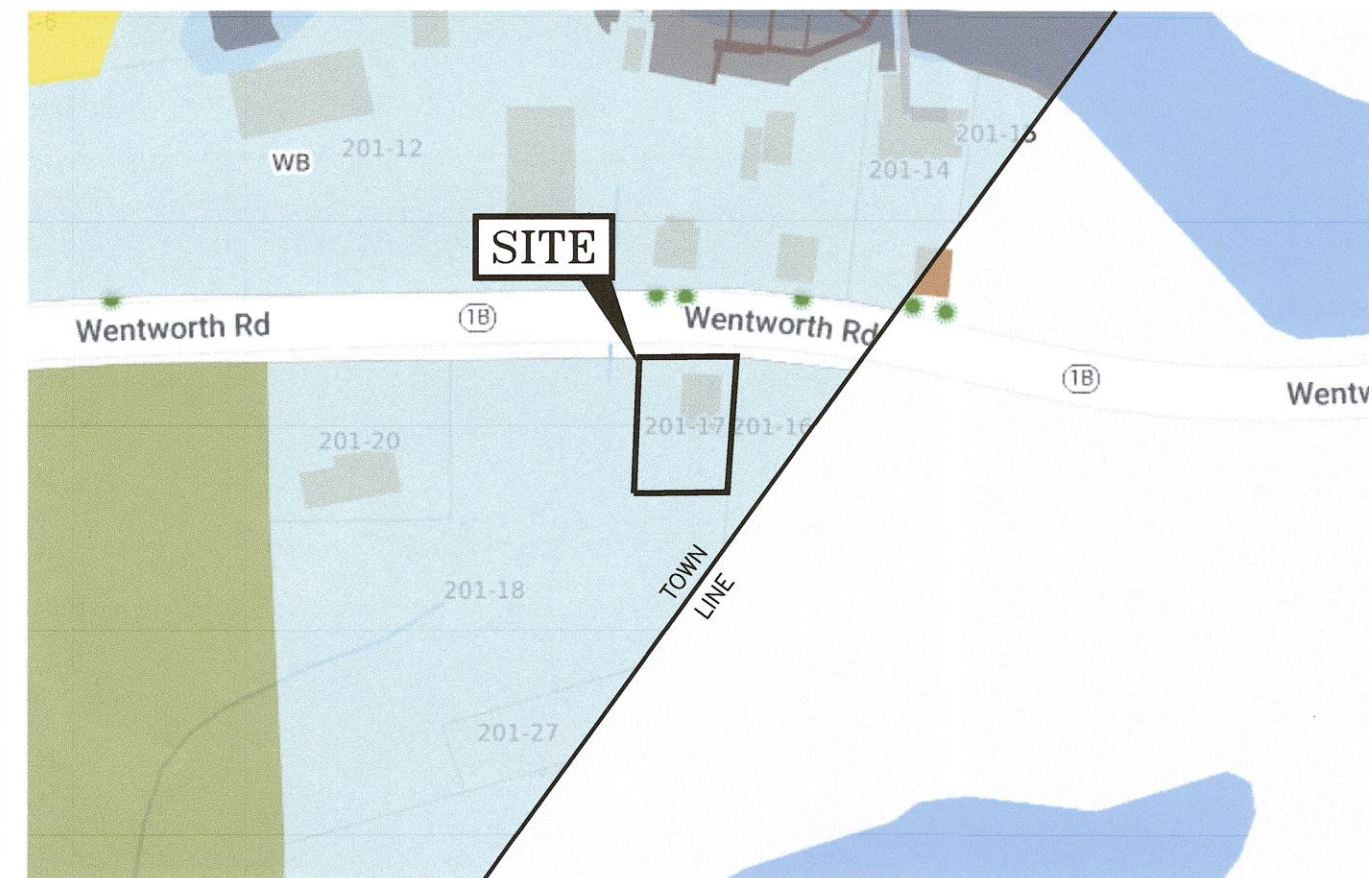
# PERMIT PLANS

**PROPERTY OWNER:**  
**SEA LEVEL, LLC**  
 P.O. BOX 4094  
 PORTSMOUTH, N.H. 03802  
 TEL. (603) 431-1039

**APPLICANT:**  
**GUNDALOW COMPANY**  
 60 MARCY STREET  
 PORTSMOUTH, N.H. 03801  
 TEL. (603) 433-9505  
 KEVIN SMART – REPRESENTATIVE  
 603-988-4128

**CIVIL ENGINEER & LAND SURVEYOR:**  
**HALEY WARD**  
 200 GRIFFIN ROAD, UNIT 14  
 PORTSMOUTH, N.H. 03801  
 TEL. (603) 430-9282

PORTSMOUTH ZONING MAP



EXISTING	PROPOSED	
---	---	PROPERTY LINE
---	---	SETBACK
S	S	SEWER PIPE
SL	SL	SEWER LATERAL
G	G	GAS LINE
D	D	STORM DRAIN
W	W	WATER LINE
WS	WS	WATER SERVICE
UGE	UGE	UNDERGROUND ELECTRIC
OHW	OHW	OVERHEAD ELECTRIC/WIRES
---	---	FOUNDATION DRAIN
---	---	EDGE OF PAVEMENT (EP)
---	---	CONTOUR
---	---	SPOT ELEVATION
---	---	UTILITY POLE
---	---	WALL MOUNTED EXTERIOR LIGHTS
---	---	TRANSFORMER ON CONCRETE PAD
---	---	ELECTRIC HANDHOLD
---	---	SHUT OFFS (WATER/GAS)
---	---	GATE VALVE
---	---	HYDRANT
---	---	CATCH BASIN
---	---	SEWER MANHOLE
---	---	DRAIN MANHOLE
---	---	TELEPHONE MANHOLE
---	---	PARKING SPACE COUNT
---	---	PARKING METER
---	---	LANDSCAPED AREA
TBD	TBD	TO BE DETERMINED
CI	CI	CAST IRON PIPE
COP	COP	COPPER PIPE
DI	DI	DUCTILE IRON PIPE
PVC	PVC	POLYVINYL CHLORIDE PIPE
RCP	RCP	REINFORCED CONCRETE PIPE
AC	-	ASBESTOS CEMENT PIPE
VC	VC	VITRIFIED CLAY PIPE
EP	EP	EDGE OF PAVEMENT
EL	EL	ELEVATION
FF	FF	FINISHED FLOOR
INV	INV	INVERT
S =	S =	SLOPE FT/FT
TBM	TBM	TEMPORARY BENCH MARK
TYP	TYP	TYPICAL



**INDEX OF SHEETS**

DWG No.	Description
C1	EXISTING CONDITIONS PLAN
C2	SITE PLAN
C3	GRADING & UTILITY PLAN
D1-D2	EROSION CONTROL NOTES & DETAILS

**UTILITY CONTACTS**

**ELECTRIC:**  
 EVERSOURCE  
 1700 LAFAYETTE ROAD  
 PORTSMOUTH, N.H. 03801  
 Tel. (603) 436-7708, Ext. 555.5678  
 ATTN: NICHOLAS KOSKI P.E.

**NATURAL GAS:**  
 UNITIL  
 325 WEST ROAD  
 PORTSMOUTH, N.H. 03801  
 Tel. (603) 294-5144  
 ATTN: DAVE BEAULIEU

**CABLE:**  
 COMCAST  
 155 COMMERCE WAY  
 PORTSMOUTH, N.H. 03801  
 Tel. (603) 679-5695 (X1037)  
 ATTN: MIKE COLLINS

**SEWER & WATER:**  
 PORTSMOUTH DEPARTMENT OF PUBLIC WORKS  
 680 PEVERLY HILL ROAD  
 PORTSMOUTH, N.H. 03801  
 Tel. (603) 427-1530  
 ATTN: DOUG SPARKS

**COMMUNICATIONS:**  
 CONSOLIDATED COMMUNICATIONS  
 JOE CONSIDINE  
 1575 GREENLAND ROAD  
 GREENLAND, N.H. 03840  
 Tel. (603) 427-5525

PORTSMOUTH APPROVAL CONDITIONS NOTE:  
 ALL CONDITIONS ON THIS PLAN SET SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE CITY OF PORTSMOUTH SITE PLAN REVIEW REGULATIONS.

APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

PROPOSED GUNDALOW MAINTENANCE FACILITY  
 187 WENTWORTH HOUSE ROAD  
 PORTSMOUTH, N.H.



WWW.HALEYWARD.COM  
 200 Griffin Road, Unit 3  
 Portsmouth, NH 03801  
 603.430.9282  
 PLAN SET SUBMITTAL DATE: 10 JANUARY 2025

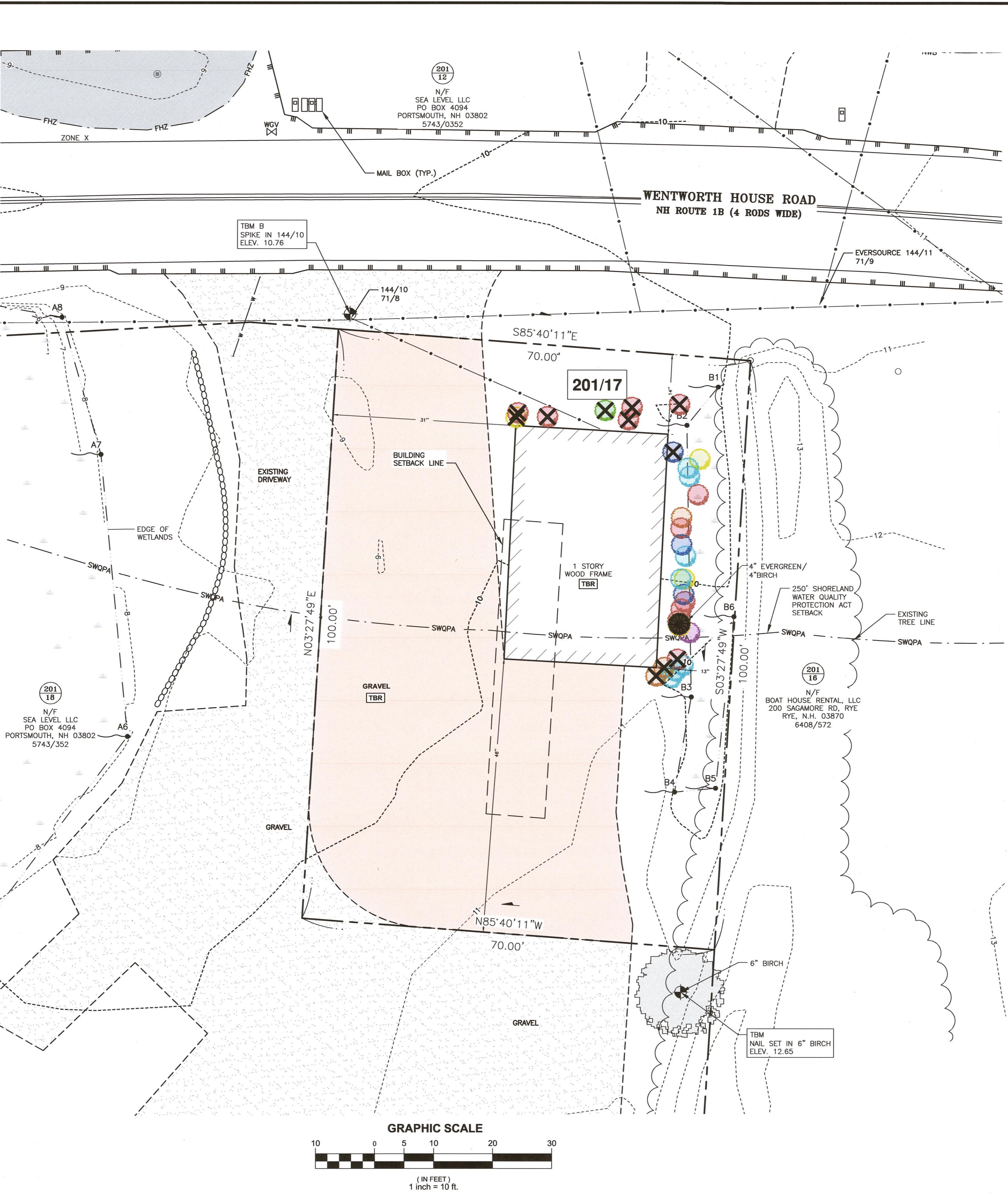


**DEMOLITION NOTES:**

- A. THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATIONS ARE NOT GUARANTEED BY THE OWNER OR THE DESIGNER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE UTILITIES AND ANTICIPATE CONFLICTS. CONTRACTOR SHALL REPAIR EXISTING UTILITIES DAMAGED BY THEIR WORK AND RELOCATE EXISTING UTILITIES THAT ARE REQUIRED TO BE RELOCATED PRIOR TO COMMENCING ANY WORK IN THE IMPACTED AREA OF THE PROJECT.
- B. ALL MATERIALS SCHEDULED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTORS UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL DISPOSE OF ALL MATERIALS OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS, ORDINANCES AND CODES. THE CONTRACTOR SHALL COORDINATE REMOVAL, RELOCATION, DISPOSAL, OR SALVAGE OF UTILITIES WITH THE OWNER AND APPROPRIATE UTILITY COMPANY.
- C. ANY EXISTING WORK OR PROPERTY DAMAGED OR DISRUPTED BY CONSTRUCTION/DEMOLITION ACTIVITIES SHALL BE REPLACED OR REPAIRED TO THE ORIGINAL EXISTING CONDITIONS BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- D. THE CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES AND CALL DIG SAFE AT LEAST 72 HOURS PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION/CONSTRUCTION ACTIVITIES.
- E. SAWCUT AND REMOVE PAVEMENT ONE FOOT OFF PROPOSED EDGE OF PAVEMENT TRENCH IN AREAS WHERE PAVEMENT IS TO BE REMOVED.
- F. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH THE CONDITIONS OF ALL THE PERMIT APPROVALS.
- G. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ADDITIONAL CONSTRUCTION PERMITS, NOTICES AND FEES NECESSARY TO COMPLETE THE WORK AND ARRANGE FOR AND PAY FOR ANY INSPECTIONS AND APPROVALS FROM THE AUTHORITIES HAVING JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL AND OFF-SITE DISPOSAL OF MATERIALS REQUIRED TO COMPLETE THE WORK.
- H. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING STRUCTURES, CONCRETE, UTILITIES, VEGETATION, PAVEMENT, AND CONTAMINATED SOIL WITHIN THE WORK LIMITS SHOWN UNLESS SPECIFICALLY IDENTIFIED TO REMAIN. ANY EXISTING DOMESTIC / IRRIGATION SERVICE WELLS IN THE PROJECT AREA IDENTIFIED DURING THE CONSTRUCTION AND NOT CALLED OUT ON THE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER FOR PROPER CAPPING / RE-USE.
- I. ALL WORK WITHIN THE CITY OF PORTSMOUTH RIGHT OF WAY SHALL BE COORDINATED WITH THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS (DPW).
- J. REMOVE TREES AND BRUSH AS REQUIRED FOR COMPLETION OF WORK. CONTRACTOR SHALL GRUB AND REMOVE ALL SLUMPS WITHIN LIMITS OF WORK AND DISPOSE OF OFF-SITE IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS.
- K. CONTRACTOR SHALL PROTECT ALL PROPERTY MONUMENTATION THROUGHOUT DEMOLITION AND CONSTRUCTION OPERATIONS. SHOULD ANY MONUMENTATION BE DISTURBED, THE CONTRACTOR SHALL EMPLOY A NH LICENSED LAND SURVEYOR TO REPLACE THEM.
- L. PROVIDE INLET PROTECTION BARRIERS AT ALL CATCH BASINS WITHIN CONSTRUCTION LIMITS AND MAINTAIN FOR THE DURATION OF THE PROJECT. INLET PROTECTION BARRIERS SHALL BE HIGH FLOW SILT SACK BY ACF ENVIRONMENTAL OR APPROVED EQUAL. INSPECT BARRIERS WEEKLY AND AFTER EACH RAIN OF 0.25 INCHES OR GREATER. CONTRACTOR SHALL COMPLETE A MAINTENANCE INSPECTION REPORT AFTER EACH INSPECTION. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT OR MORE OFTEN IF WARRANTED OR FABRIC BECOMES CLOGGED. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF ANY CLEARING OR DEMOLITION ACTIVITIES.
- M. THE CONTRACTOR SHALL PAY ALL COSTS NECESSARY FOR TEMPORARY PARTITIONING, BARRICADING, FENCING, SECURITY AND SAFETY DEVICES REQUIRED FOR THE MAINTENANCE OF A CLEAN AND SAFE CONSTRUCTION SITE.
- N. ANY CONTAMINATED MATERIAL REMOVED DURING THE COURSE OF THE WORK WILL REQUIRE HANDLING IN ACCORDANCE WITH NHDES REGULATIONS. CONTRACTOR SHALL HAVE A HEALTH AND SAFETY PLAN IN PLACE, AND COMPLY WITH ALL APPLICABLE PERMITS, APPROVALS, AUTHORIZATIONS, AND REGULATIONS.

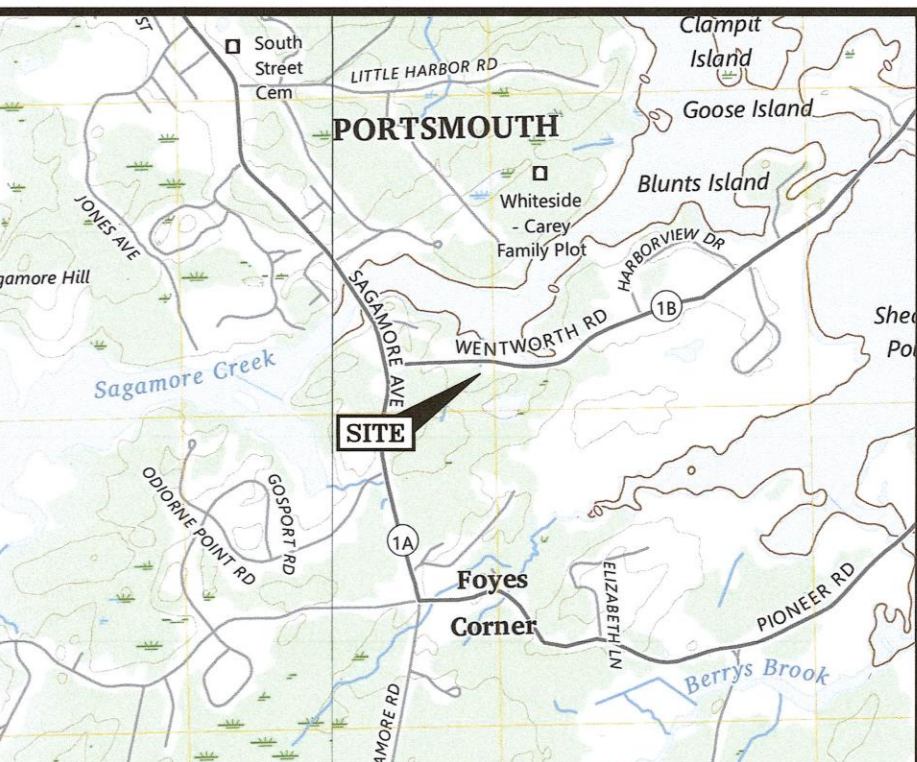
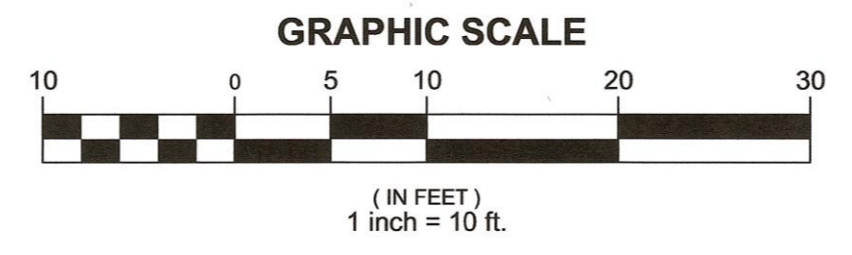
**WETLAND NOTES:**

- 1) HIGHEST OBSERVABLE TIDE LINE DELINEATED BY STEVEN D. RIKER, CWS ON 12/11/2020 IN ACCORDANCE WITH THE FOLLOWING STANDARDS:
  - A) U.S. ARMY CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL. TECHNICAL REPORT Y-87-1 (JAN. 1987) AND REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, VERSION 2.0, JANUARY 2012.
  - B) FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, VERSION 8.2, USDA-NRCS, 2018 AND (FOR DISTURBED SITES) FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, VERSION 4. NEWPCC WETLANDS WORK GROUP (2019).
  - C) NATIONAL LIST OF PLANT SPECIES THAT OCCUR IN WETLANDS: NORTHEAST (REGION 1), USFWS (MAY 1988).
  - D) CLASSIFICATION OF WETLANDS AND DEEPWATER HABITATS OF THE UNITED STATES. USFW MANUAL FWS/OBS-79/31 (1997).
  - E) "IDENTIFICATION AND DOCUMENTATION OF VERNAL POOLS IN NEW HAMPSHIRE" (1997). NEW HAMPSHIRE FISH AND GAME DEPARTMENT.
- 2) WETLAND FLAGS WERE FIELD LOCATED BY HALEY WARD.



**TREE SCHEDULE:**

- 3" DIAMETER
- 4" DIAMETER
- 5" DIAMETER
- 6" DIAMETER
- 8" DIAMETER
- 10" DIAMETER
- 12" DIAMETER
- BIRCH
- EVERGREEN
- TO BE REMOVED



**LOCATION MAP** SCALE: 1"=200'

**NOTES:**

- 1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 201 AS LOT 17.
- 2) OWNERS OF RECORD: SEA LEVEL LLC, PO BOX 4094, PORTSMOUTH, NH 03802, 5743/352, D-27320
- 3) PARCEL IS LOCATED IN FLOOD HAZARD ZONE X AS SHOWN ON FIRM PANEL 33015C0286F. EFFECTIVE DATE JANUARY 29, 2021.
- 4) EXISTING LOT AREA: 7,000 S.F., 0.1607 ACRES
- 5) PARCEL IS LOCATED IN THE WATERFRONT BUSINESS (WB) DISTRICT.
- 6) DIMENSIONAL REQUIREMENTS:
 

MIN. LOT AREA:	20,000 S.F.
FRONTAGE:	100 FEET
DEPTH:	100 FEET
SETBACKS:	
FRONT:	30 FEET
REAR:	20 FEET
SIDE:	30 FEET
MAXIMUM STRUCTURE HEIGHT:	35 FEET
MAXIMUM ROOF APPURTENANCE HEIGHT:	10 FEET
MAXIMUM BUILDING COVERAGE:	30%
MINIMUM OPEN SPACE:	20%
- 7) THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS ON TAX MAP 201 LOT 17.
- 8) VERTICAL DATUM IS NAVD88. BASIS OF VERTICAL DATUM IS REDUNDANT RTN GNSS OBSERVATIONS.

0	01/10/2025	ISSUED FOR COMMENT	CBA	JRC
REV	DATE	DESCRIPTION	BY	CHK.

**SITE PLAN**

**HALEY WARD**  
ENGINEERING | ENVIRONMENTAL | SURVEYING  
200 Griffin Rd. Unit 14  
Portsmouth, NH 03801  
603.430.9282  
WWW.HALEYWARD.COM

**GUNDALOW COMPANY**  
TAX MAP 201 LOT 17 WENTWORTH HOUSE ROAD PORTSMOUTH, NH

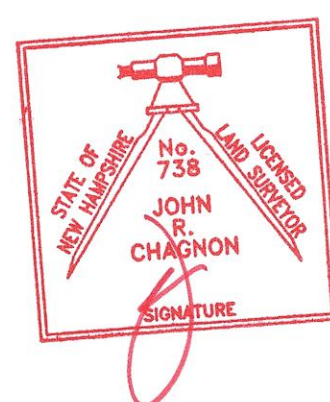
**EXISTING CONDITIONS & DEMOLITION PLAN**

DATE	JANUARY 2025	SCALE	1" = 10'
DRAWN BY	CBA	DESIGNED BY	JRC
CHECKED BY	JRC	PROJECT No.	5010185.2625
FIELD BOOK AND PAGE	FB 328 PG 57	DRAWING No.	
		REV.	
		<b>SHEET 1 - C1 0</b>	

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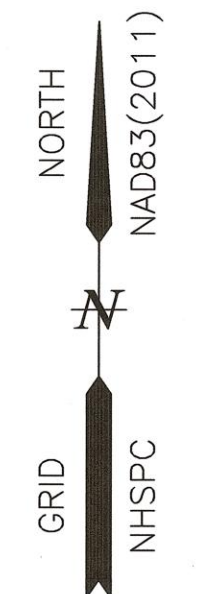
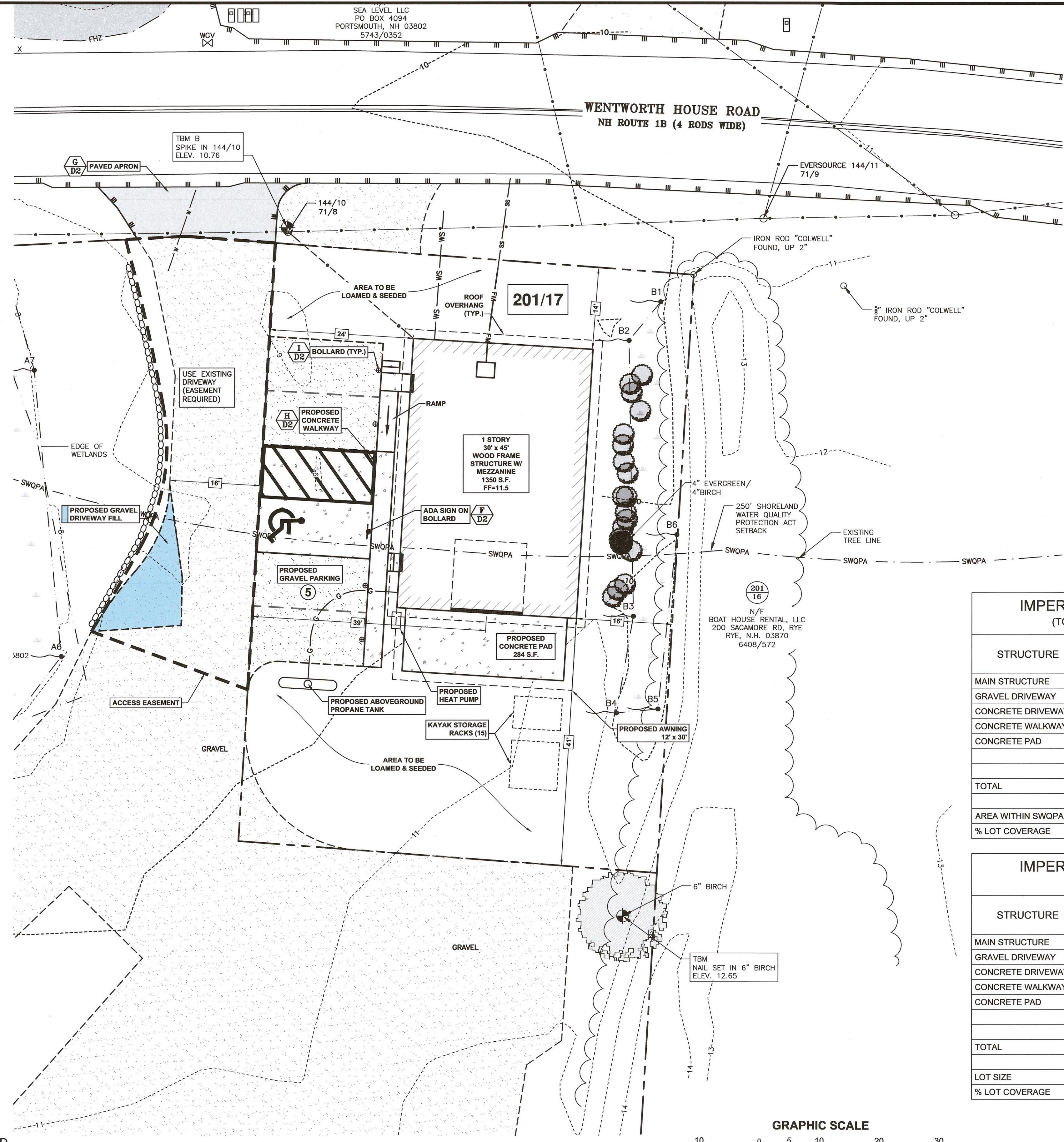


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APPROVED BY THE PORTSMOUTH PLANNING BOARD

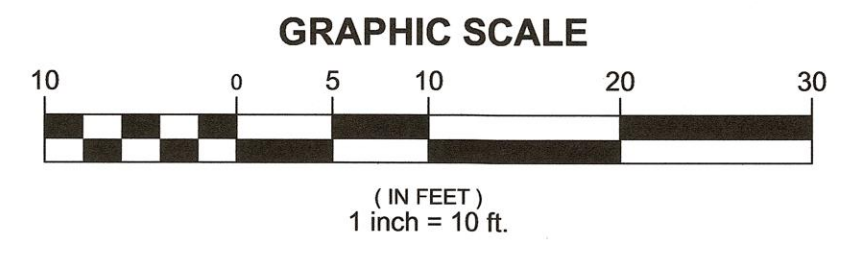
CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_



- NOTES:**
- 1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 201 AS LOT 17.
  - 2) OWNERS OF RECORD:  
SEA LEVEL LLC  
PO BOX 4094  
PORTSMOUTH, NH 03802  
5743/352  
D-27320
  - 3) PARCEL IS LOCATED IN FLOOD HAZARD ZONE X AS SHOWN ON FIRM PANEL 33015C0286F. EFFECTIVE DATE JANUARY 29, 2021.
  - 4) EXISTING LOT AREA  
7,000 S.F.  
0.1607 ACRES
  - 5) PARCEL IS LOCATED IN THE WATERFRONT BUSINESS (WB) DISTRICT.
  - 6) DIMENSIONAL REQUIREMENTS:  
MIN. LOT AREA: 20,000 S.F.  
FRONTAGE: 100 FEET  
DEPTH: 100 FEET  
SETBACKS:  
FRONT: 30 FEET  
REAR: 20 FEET  
SIDE: 30 FEET  
MAXIMUM STRUCTURE HEIGHT: 35 FEET  
MAXIMUM ROOF APPURTENANCE HEIGHT: 10 FEET  
MAXIMUM BUILDING COVERAGE: 30%  
MINIMUM OPEN SPACE: 20%
  - 7) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
  - 8) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
  - 9) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).
  - 10) THE PURPOSE OF THIS PLAN IS TO SHOW A PROPOSED DEVELOPMENT LAYOUT ON THE PROPERTY.
  - 11) EXISTING STRUCTURE TO BE REMOVED.
  - 12) PROPOSED USE: PROPOSED MAINTENANCE FACILITY - REPAIR OF COMMERCIAL MARINE CRAFT (SPECIAL EXCEPTION REQUIRED).
  - 13) PARKING CALCULATION:  
OFFICE: 360 S.F.  
1 SPACE PER 250 S.F. & ROUNDUP  
360 S.F. / 250 S.F. x 1 SPACE = 2 SPACES  
WORKSHOP EMPLOYEES: 3 PEOPLE  
1 SPACE PER EMPLOYEE  
3 PEOPLE x 1 SPACE = 3 SPACES

STRUCTURE	EXISTING IMPERVIOUS (S.F.)	PROPOSED IMPERVIOUS (S.F.)
MAIN STRUCTURE	903	1,049
GRAVEL DRIVEWAY	1,354	342
CONCRETE DRIVEWAY	0	297
CONCRETE WALKWAY	0	99
CONCRETE PAD	0	0
<b>TOTAL</b>	<b>2,257</b>	<b>1,787</b>
AREA WITHIN SWQPA	3,406	3,406
% LOT COVERAGE	66.3%	52.5%

STRUCTURE	EXISTING IMPERVIOUS (S.F.)	PROPOSED IMPERVIOUS (S.F.)
MAIN STRUCTURE	1,022	1,350
GRAVEL DRIVEWAY	3,955	772
CONCRETE DRIVEWAY	0	342
CONCRETE WALKWAY	0	165
CONCRETE PAD	0	284
<b>TOTAL</b>	<b>4,977</b>	<b>2,913</b>
LOT SIZE	6,999	6,999
% LOT COVERAGE	71.1%	41.6%



REV	DATE	DESCRIPTION	BY	CHK
0	01/10/2025	ISSUED FOR COMMENT	CBA	JRC

**SITE PLAN**



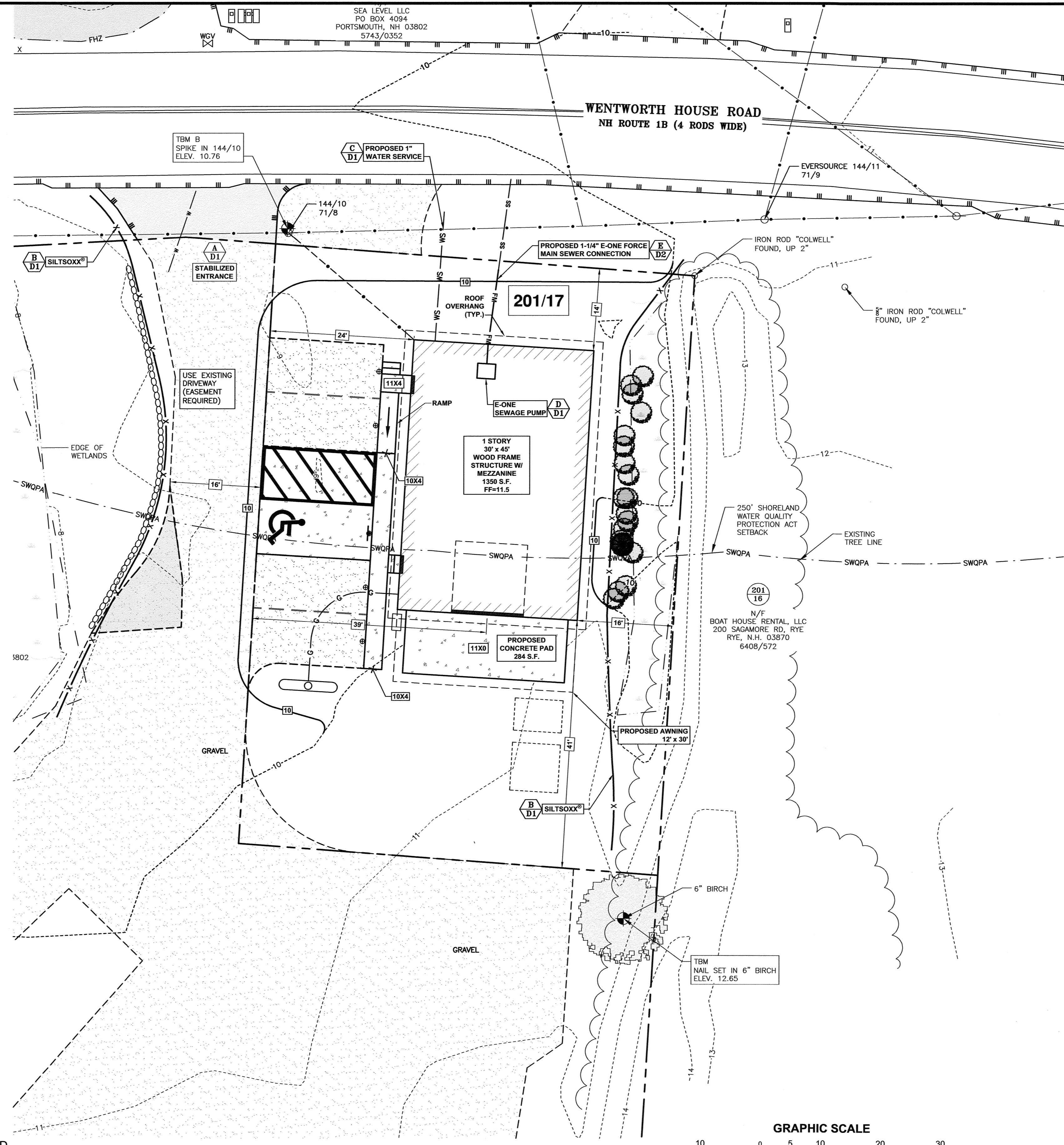
**GUNDALOW COMPANY**  
TAX MAP 201 LOT 17 WENTWORTH HOUSE ROAD PORTSMOUTH, NH

**SITE PLAN**

	DATE	JANUARY 2025	SCALE	1" = 10'
	DRAWN BY	CBA	DESIGNED BY	JRC
	CHECKED BY	JRC	PROJECT No.	5010185.2625
	FIELD BOOK AND PAGE	FB 328 PG 57	DRAWING No.	5010185.2625
<b>SHEET 2 - C2</b>				<b>0</b>

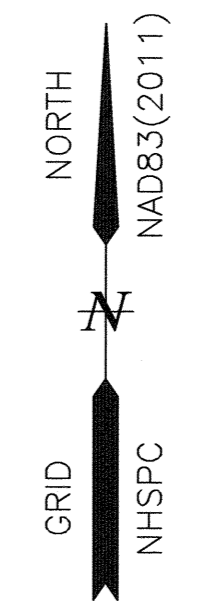


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APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_



**NOTES:**

- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
- 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
- 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).

0	02/26/25	ISSUED FOR COMMENT	CBA	JRC
REV	DATE	DESCRIPTION	BY	CHK

**SITE PLAN**

**HALEY WARD**  
 ENGINEERING | ENVIRONMENTAL | SURVEYING  
 200 Griffin Rd. Unit 14  
 Portsmouth, NH 03801  
 603.430.9282  
 WWW.HALEYWARD.COM

PROJECT  
**GUNDALOW COMPANY**  
 TAX MAP 201 LOT 17 WENTWORTH HOUSE ROAD PORTSMOUTH, NH

**GRADING & UTILITY PLAN**

DATE JANUARY 2025	SCALE 1" = 10'	
DRAWN BY CBA	DESIGNED BY JRC	CHECKED BY JRC
PROJECT No. 5010185.2625	FIELD BOOK AND PAGE FB 328 PG 57	
DRAWING No.	REV.	

**SHEET 3 - C3 0**



**EROSION CONTROL NOTES**

**CONSTRUCTION SEQUENCE**

DO NOT BEGIN CONSTRUCTION UNTIL ALL LOCAL, STATE AND FEDERAL PERMITS HAVE BEEN APPLIED FOR AND RECEIVED.  
 INSTALL INLET PROTECTION AND PERIMETER CONTROLS, i.e., SILT FENCING OR SILT SOXX AROUND THE LIMITS OF DISTURBANCE BEFORE ANY EARTH MOVING OPERATIONS.  
 CUT AND GRUB ALL TREES, SHRUBS, SAPLINGS, BRUSH, VINES AND REMOVE OTHER DEBRIS AND RUBBISH AS REQUIRED.  
 REMOVE EXISTING STRUCTURE.  
 CONSTRUCT SITE UTILITIES AND BUILDING.  
 REMOVE TRAPPED SEDIMENTS FROM COLLECTION DEVICES AS APPROPRIATE, AND THEN REMOVE TEMPORARY EROSION CONTROL MEASURES UPON COMPLETION OF FINAL STABILIZATION OF THE SITE.

**GENERAL CONSTRUCTION NOTES**

THE EROSION CONTROL PROCEDURES SHALL CONFORM TO SECTION 645 OF THE "STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION" OF THE NHDOT, AND "STORM WATER MANAGEMENT AND EROSION AND SEDIMENT CONTROL HANDBOOK FOR URBAN AND DEVELOPING AREAS IN NEW HAMPSHIRE". THE PROJECT IS TO BE MANAGED IN A MANNER THAT MEETS THE REQUIREMENTS AND INTENT OF RSA 430:53 AND CHAPTER AGR 3800 RELATIVE TO INVASIVE SPECIES.  
 DURING CONSTRUCTION AND THEREAFTER, EROSION CONTROL MEASURES ARE TO BE IMPLEMENTED AS NOTED. THE SMALLEST PRACTICAL AREA OF LAND SHOULD BE EXPOSED AT ANY ONE TIME DURING DEVELOPMENT. NO DISTURBED AREA SHALL BE LEFT UNSTABILIZED FOR MORE THAN 45 DAYS.  
 ANY DISTURBED AREAS WHICH ARE TO BE LEFT TEMPORARILY, AND WHICH WILL BE REGRADED LATER DURING CONSTRUCTION SHALL BE MACHINE HAY MULCHED AND SEEDED WITH RYE GRASS TO PREVENT EROSION.  
 DUST CONTROL: IF TEMPORARY STABILIZATION PRACTICES, SUCH AS TEMPORARY VEGETATION AND MULCHING, DO NOT ADEQUATELY REDUCE DUST GENERATION, APPLICATION OF WATER OR CALCIUM CHLORIDE SHALL BE APPLIED IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES.  
 SILT FENCES AND SILT SOXX SHALL BE PERIODICALLY INSPECTED DURING THE LIFE OF THE PROJECT AND AFTER EACH STORM. ALL DAMAGED SILT FENCES AND SILT SOXX SHALL BE REPAIRED. SEDIMENT DEPOSITS SHALL PERIODICALLY BE REMOVED AND DISPOSED IN A SECURED LOCATION.  
 AVOID THE USE OF FUTURE OPEN SPACES (LOAM AND SEED AREAS) WHEREVER POSSIBLE DURING CONSTRUCTION. CONSTRUCTION TRAFFIC SHALL USE THE ROADBEDS OF FUTURE ACCESS DRIVES AND PARKING AREAS.  
 ADDITIONAL TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED IN AMOUNTS NECESSARY TO COMPLETE FINISHED GRADING OF ALL EXPOSED AREAS—CONSTRUCT SILT FENCE OR SILT SOXX AROUND TOPSOIL STOCKPILE.  
 AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS OR OTHER OBJECTIONABLE MATERIAL. STUMPS SHALL BE DISPOSED OF IN AN APPROVED FACILITY.  
 ALL FILLS SHALL BE PLACED AND COMPACTED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS.  
 ALL NON-STRUCTURAL, SITE-FILL SHALL BE PLACED AND COMPACTED TO 90% MODIFIED PROCTOR DENSITY IN LAYERS NOT EXCEEDING 18 INCHES IN THICKNESS UNLESS OTHERWISE NOTED.  
 FROZEN MATERIAL OR SOFT, MUCKY OR HIGHLY COMPRESSIBLE MATERIAL, TRASH, WOODY DEBRIS, LEAVES, BRUSH OR ANY DELETERIOUS MATTER SHALL NOT BE INCORPORATED INTO FILLS.  
 FILL MATERIAL SHALL NOT BE PLACED ON FROZEN FOUNDATION SUBGRADE.  
 DURING CONSTRUCTION AND UNTIL ALL DEVELOPED AREAS ARE FULLY STABILIZED, ALL EROSION CONTROL MEASURES SHALL BE INSPECTED WEEKLY AND AFTER EACH ONE HALF INCH OF RAINFALL.  
 THE CONTRACTOR SHALL MODIFY OR ADD EROSION CONTROL MEASURES AS NECESSARY TO ACCOMMODATE PROJECT CONSTRUCTION.  
 ALL ROADWAYS AND PARKING AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE. ALL CUT AND FILL SLOPES SHALL BE SEEDING/LOAMED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.  
 AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:  
 - BASE COURSE GRAVELS HAVE BEEN INSTALLED ON AREAS TO BE PAVED  
 - A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED  
 - A MINIMUM OF 3 INCHES OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED  
 - EROSION CONTROL BLANKETS HAVE BEEN INSTALLED

**VEGETATIVE PRACTICE**

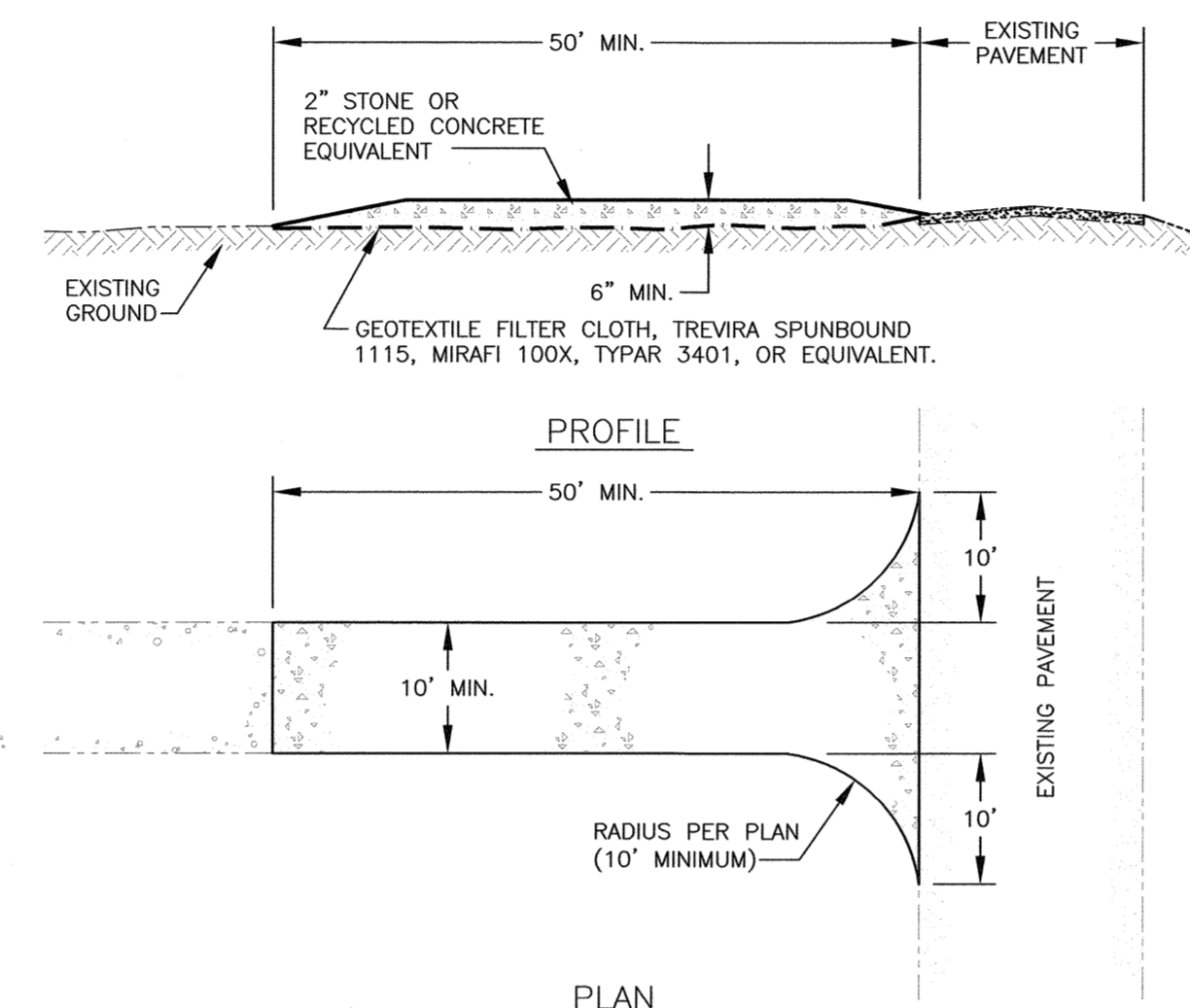
FOR PERMANENT MEASURES AND PLANTINGS:  
 APPLY NOFA STANDARDS  
 SEED SHALL BE SOWN AT THE RATES SHOWN IN THE TABLE BELOW. IMMEDIATELY BEFORE SEEDING, THE SOIL SHALL BE LIGHTLY RAKED. ONE HALF THE SEED SHALL BE SOWN IN ONE DIRECTION AND THE OTHER HALF AT RIGHT ANGLES TO THE ORIGINAL DIRECTION. IT SHALL BE LIGHTLY RAKED INTO THE SOIL TO A DEPTH NOT OVER 1/4 INCH AND ROLLED WITH A HAND ROLLER WEIGHING NOT OVER 100 POUNDS PER LINEAR FOOT OF WIDTH. HAY MULCH SHALL BE APPLIED IMMEDIATELY AFTER SEEDING AT A RATE OF 1.5 TO 2 TONS PER ACRE, AND SHALL BE HELD IN PLACE USING APPROPRIATE TECHNIQUES FROM THE EROSION AND SEDIMENT CONTROL HANDBOOK.  
 THE SURFACE SHALL BE WATERED AND KEPT MOIST WITH A FINE SPRAY AS REQUIRED, WITHOUT WASHING AWAY THE SOIL, UNTIL THE GRASS IS WELL ESTABLISHED. ANY AREAS WHICH ARE NOT SATISFACTORILY COVERED SHALL BE RESEEDING, AND ALL NOXIOUS WEEDS REMOVED.  
 A GRASS SEED MIXTURE CONTAINING THE FOLLOWING SEED REQUIREMENTS SHALL BE:  
 SEED WITH BUFFER PLANTING FROM PIERSON NURSERIES (207) 499-2994  
 FOR TEMPORARY PROTECTION OF DISTURBED AREAS:  
 MULCHING AND SEEDING SHALL BE APPLIED AT THE FOLLOWING RATES:  
 PERENNIAL RYE: 0.7 LBS/1,000 S.F.  
 MULCH: 1.5 TONS/ACRE

**MAINTENANCE AND PROTECTION**

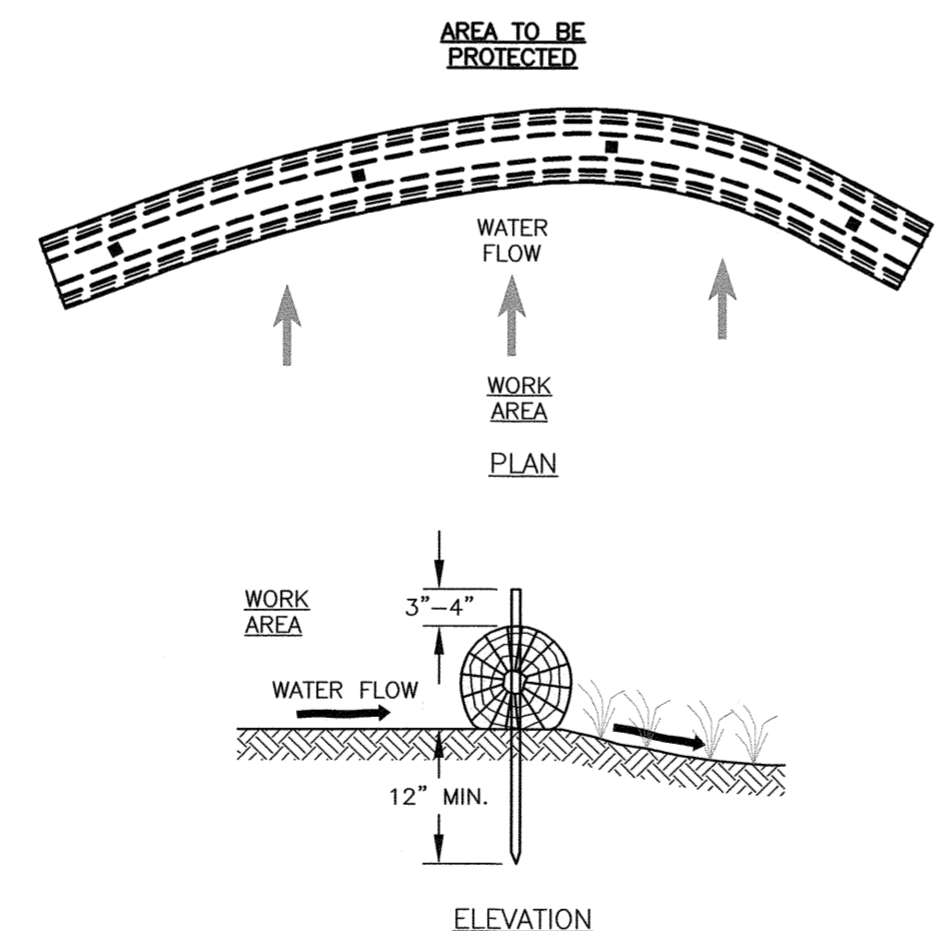
THE CONTRACTOR SHALL MAINTAIN ALL LOAM & SEED AREAS UNTIL FINAL ACCEPTANCE AT THE COMPLETION OF THE CONTRACT. MAINTENANCE SHALL INCLUDE WATERING, WEEDING, REMOVAL OF STONES AND OTHER FOREIGN OBJECTS OVER 1/2 INCHES IN DIAMETER WHICH MAY APPEAR AND THE FIRST TWO (2) CUTTINGS OF GRASS NO CLOSER THEN TEN (10) DAYS APART. THE FIRST CUTTING SHALL BE ACCOMPLISHED WHEN THE GRASS IS FROM 2 1/2 TO 3 INCHES HIGH. ALL BARE AND DEAD SPOTS WHICH BECOME APPARENT SHALL BE PROPERLY PREPARED, LIMED AND FERTILIZED, AND RESEEDING BY THE CONTRACTOR AT HIS EXPENSE AS MANY TIMES AS NECESSARY TO SECURE GOOD GROWTH. THE ENTIRE AREA SHALL BE MAINTAINED, WATERED AND CUT UNTIL ACCEPTANCE OF THE LAWN BY THE OWNER'S REPRESENTATIVE.  
 THE CONTRACTOR SHALL TAKE WHATEVER MEASURES ARE NECESSARY TO PROTECT THE GRASS WHILE IT IS DEVELOPING.  
 TO BE ACCEPTABLE, SEEDING AREAS SHALL CONSIST OF A UNIFORM STAND OF AT LEAST 90 PERCENT ESTABLISHED PERMANENT GRASS SPECIES, WITH UNIFORM COUNT OF AT LEAST 100 PLANTS PER SQUARE FOOT.  
 SEEDING AREAS WILL BE FERTILIZED AND RESEEDING AS NECESSARY TO INSURE VEGETATIVE ESTABLISHMENT.  
 THE SWALES WILL BE CHECKED WEEKLY AND REPAIRED WHEN NECESSARY UNTIL ADEQUATE VEGETATION IS ESTABLISHED.  
 THE SILT FENCE OR SILT SOXX BARRIER SHALL BE CHECKED AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL.  
 SILT FENCING AND SILT SOXX SHALL BE REMOVED ONCE VEGETATION IS ESTABLISHED, AND DISTURBED AREAS RESULTING FROM SILT FENCE AND SILT SOXX REMOVAL SHALL BE PERMANENTLY SEEDING.

**WINTER NOTES**

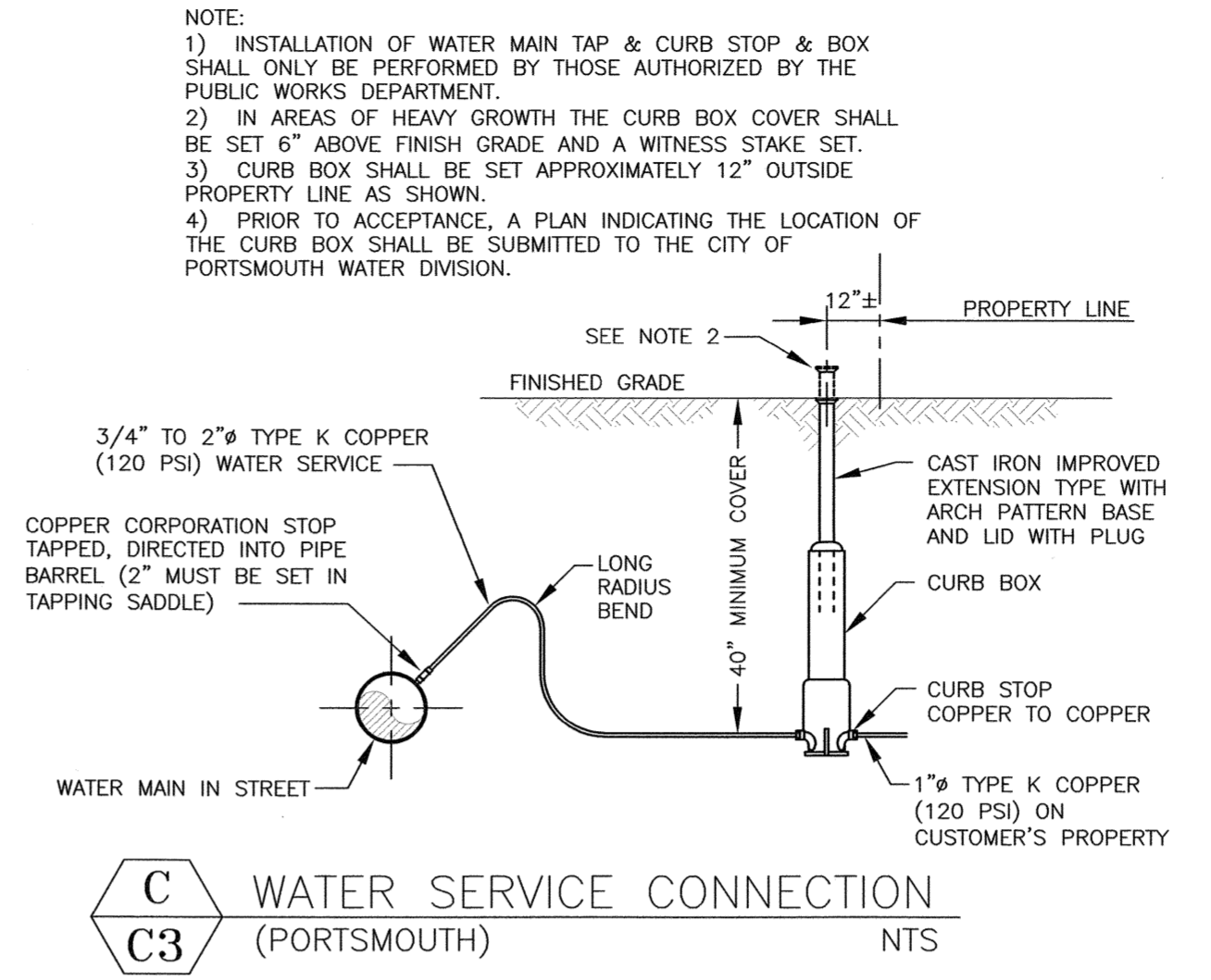
ALL PROPOSED VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING. ELSEWHERE, THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.  
 ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.  
 AFTER NOVEMBER 15TH, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3.



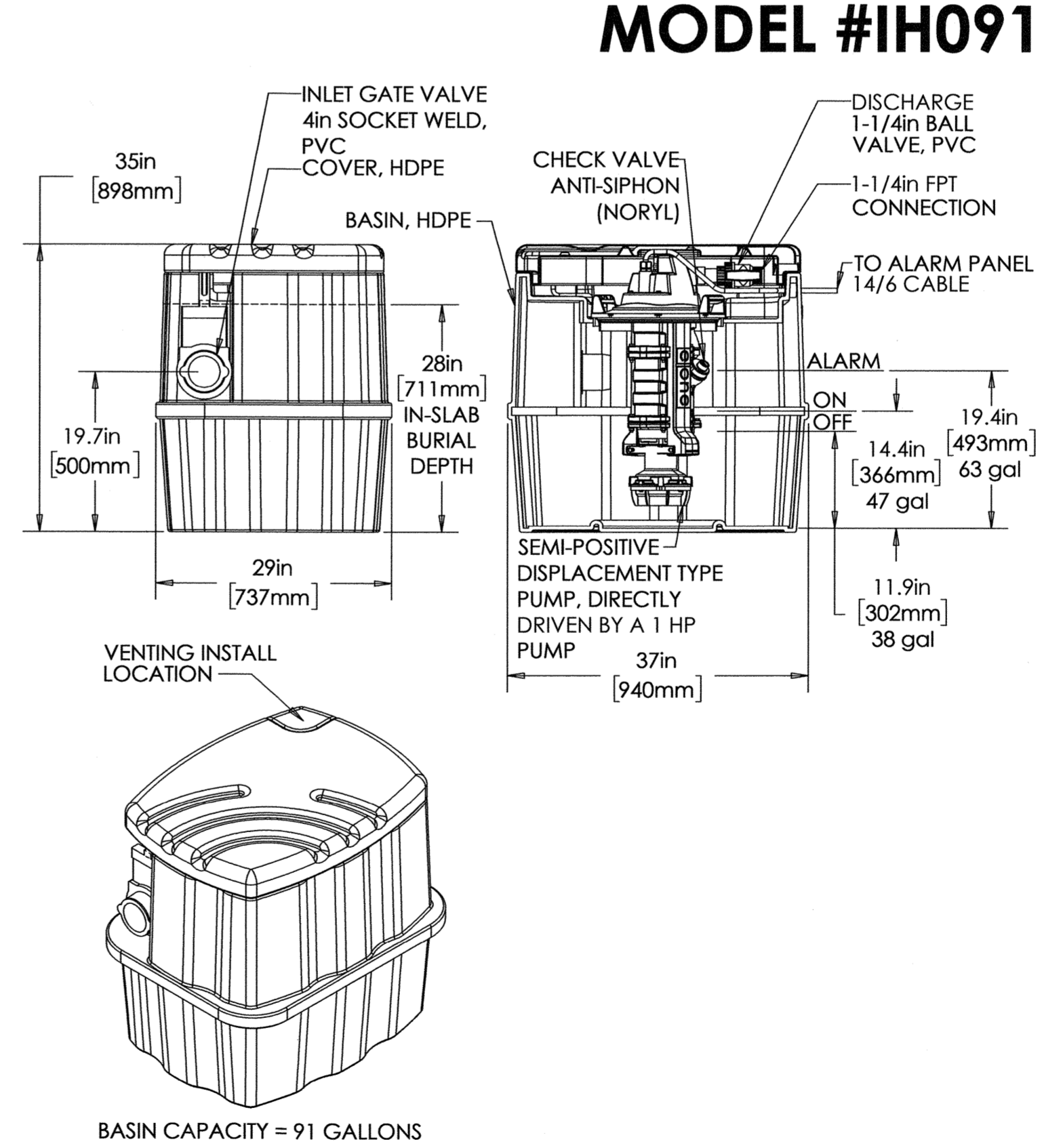
**A** STABILIZED CONSTRUCTION ENTRANCE  
 C3 SUBSTITUTE FODS IF DESIRED NTS



**B** FILTREXX® SILT SOXX™  
 C3 FILTRATION SYSTEM NTS



**C** WATER SERVICE CONNECTION  
 C3 (PORTSMOUTH) NTS



**D** E-ONE #IH091 SEWAGE PUMP  
 C3 NTS

**MODEL #IH091**

**NOTES:**  
 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.  
 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.  
 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE 'NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).

0	01/10/2025	ISSUED FOR COMMENT	CBA	JRC
REV	DATE	DESCRIPTION	BY	CHK

**SITE PLAN**

**HALEY WARD**  
 ENGINEERING | ENVIRONMENTAL | SURVEYING  
 200 Griffin Rd. Unit 14  
 Portsmouth, NH 03801  
 603.430.9282  
 WWW.HALEYWARD.COM

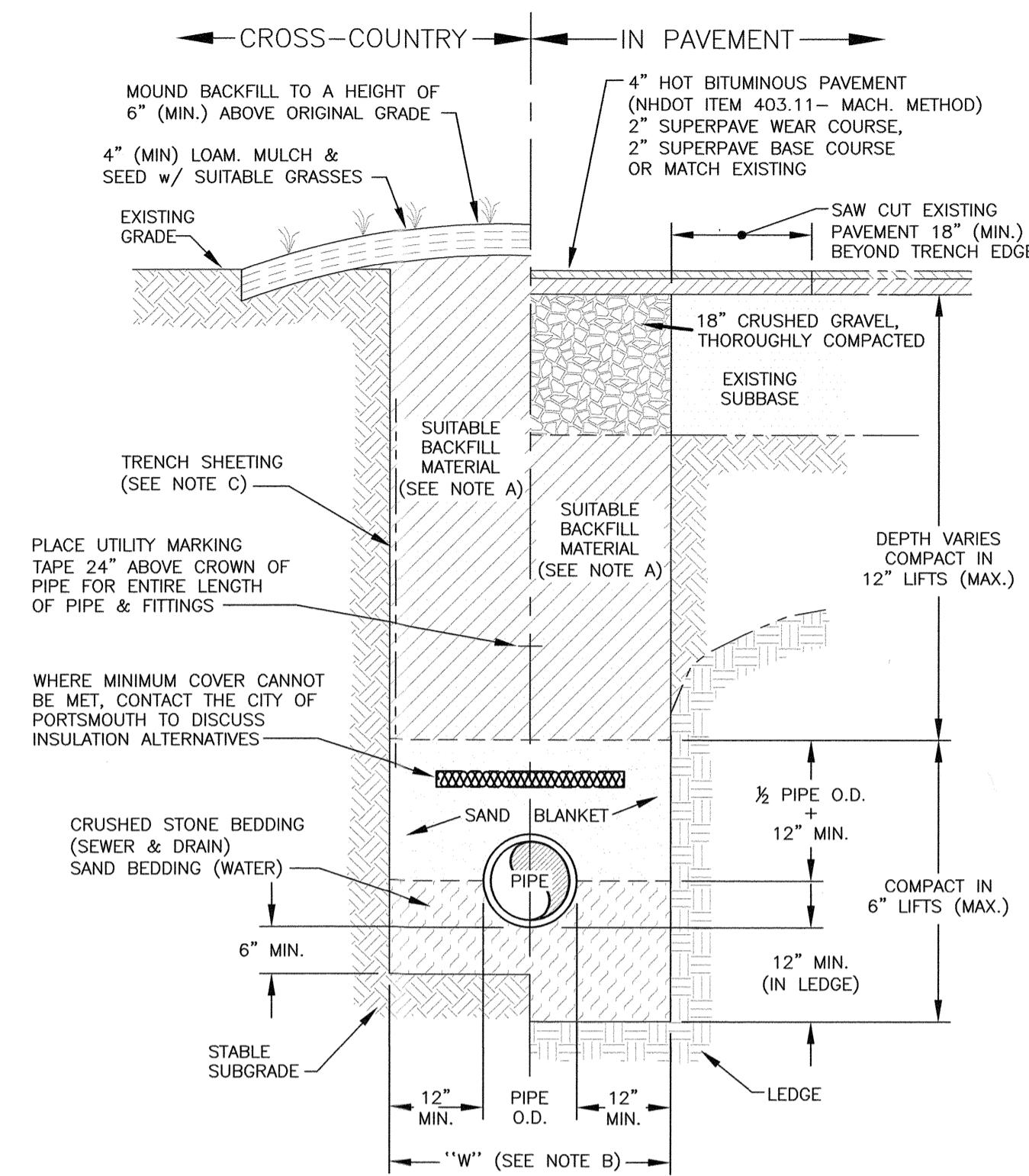
PROJECT  
**GUNDALOW COMPANY**  
 TAX MAP 201 LOT 17 WENTWORTH HOUSE ROAD PORTSMOUTH, NH

**EROSION CONTROL NOTES & DETAILS**

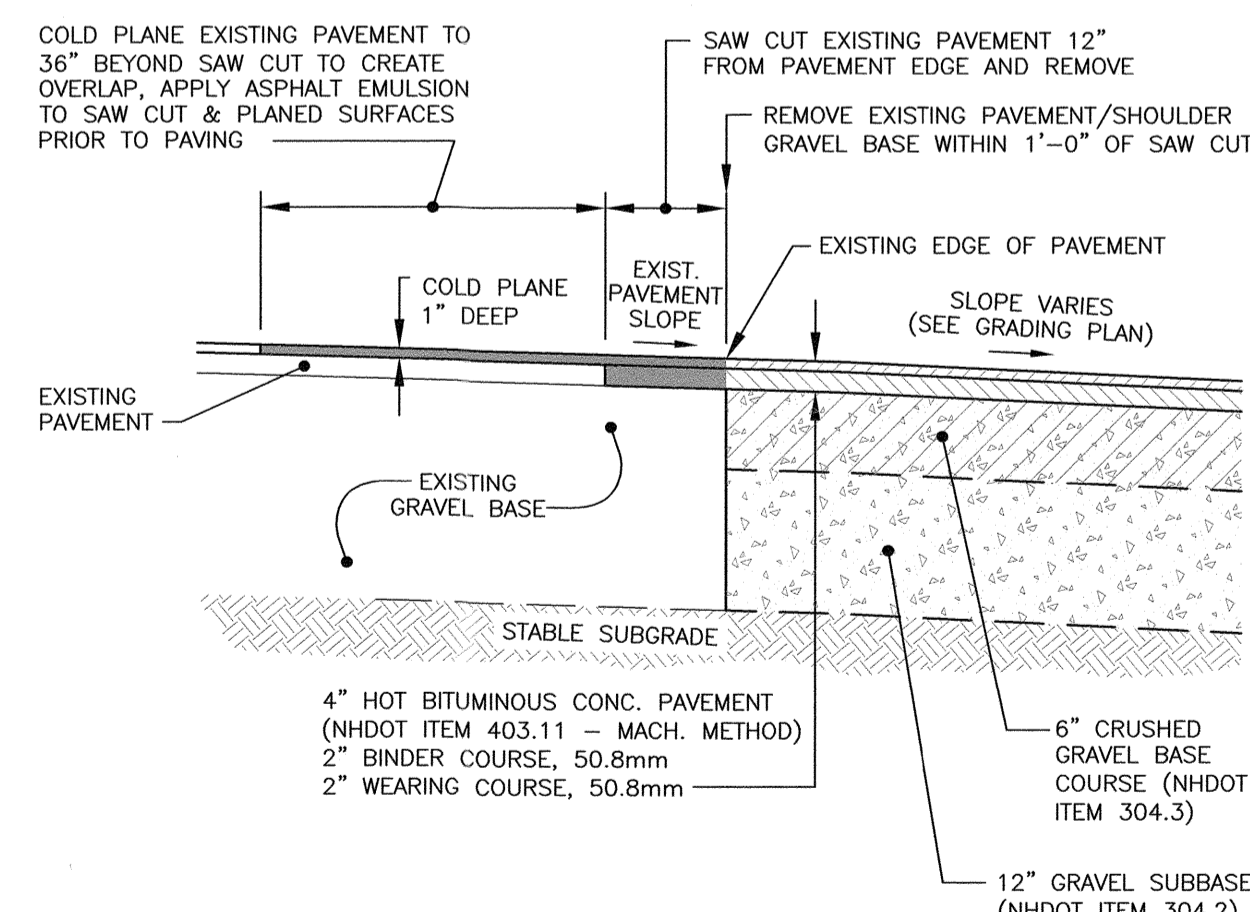
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JANUARY 2025	N.T.S.	
DRAWN BY	DESIGNED BY	CHECKED BY
CBA	JRC	JRC
PROJECT No.	FIELD BOOK AND PAGE	
5010185.2625	FB 328 PG 57	
DRAWING No.	REV.	
<b>SHEET 4 - D1</b>	<b>0</b>	

FILE LOCATION: P:\NH050185\SEA\_LEVEL\_LC2025\WENTWORTH\RD...PORTSMOUTH-JRC\02\_CAD\_FILES\DWG\010185\_2025-CRIP.DWG, 2025.02.27, 11:35 AM

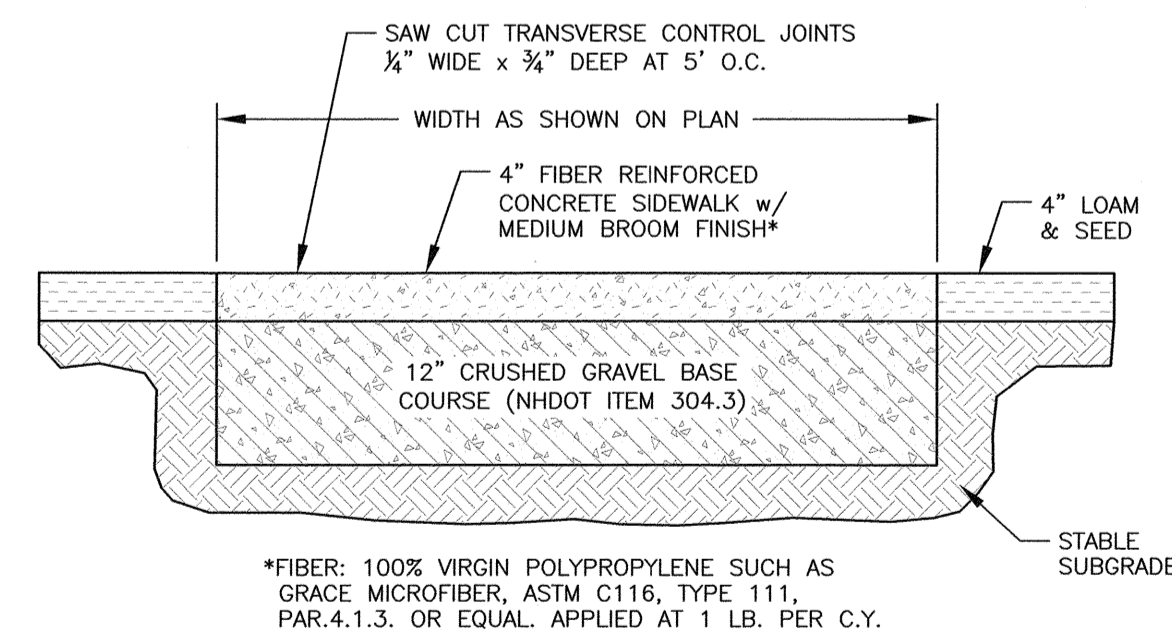




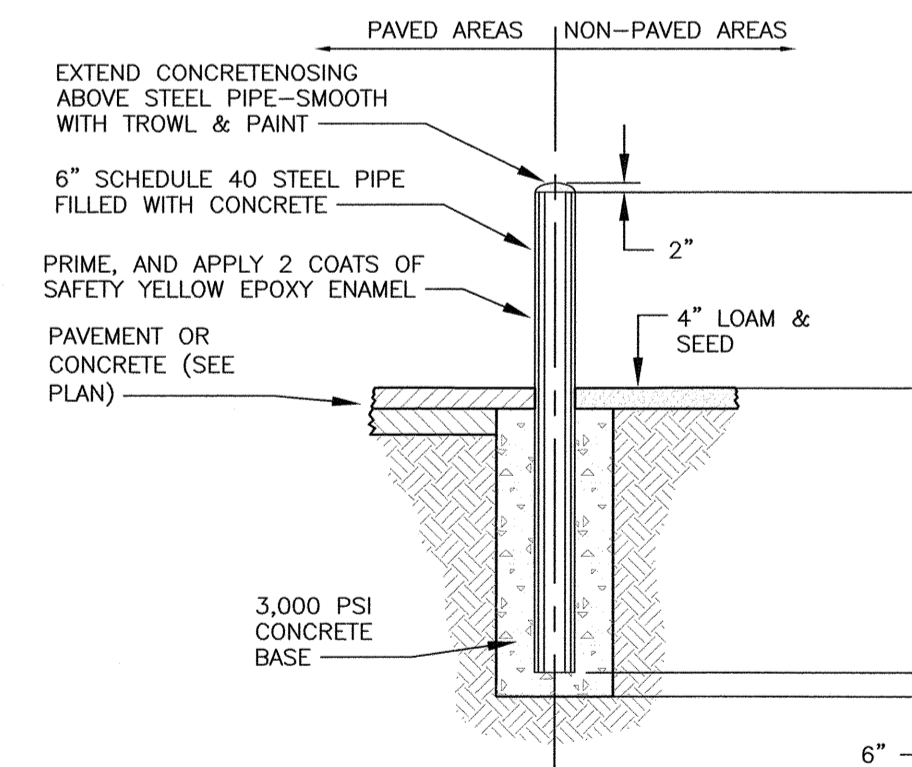
**E** TYPICAL UTILITY TRENCH  
 C3 NTS



**G** PAVEMENT JOINT & WIDENING  
 C2 NEW TO EXISTING NTS



**H** PORTLAND CEMENT CONCRETE SIDEWALK  
 C2 (NON-POROUS) NTS

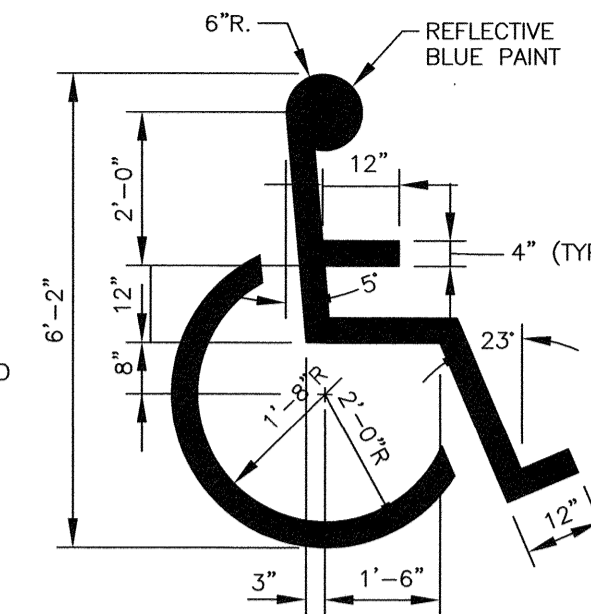
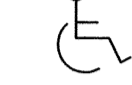


**I** PIPE BOLLARD  
 C2 NTS

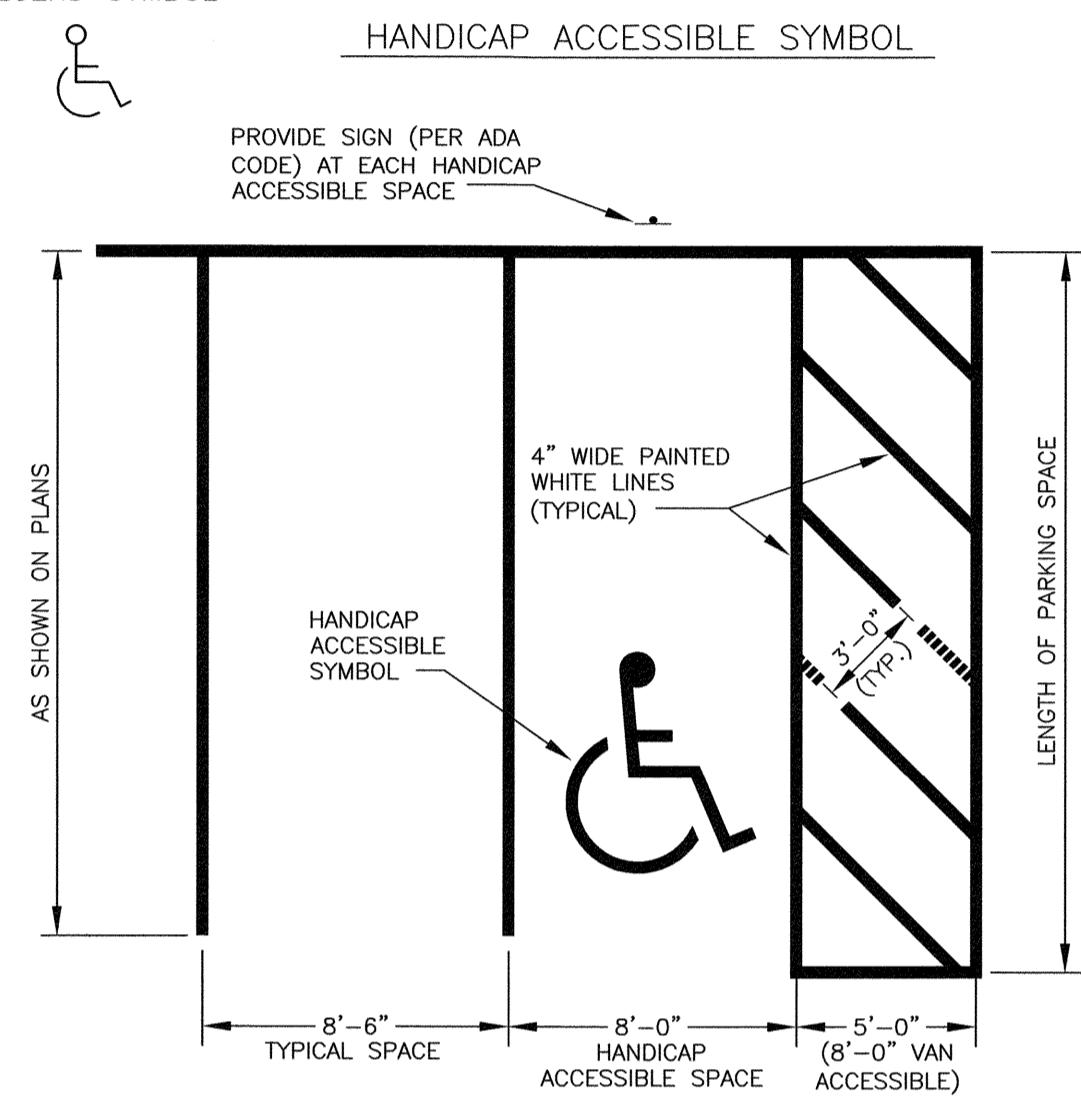


R7-8a  
 12" x 18"  
 SIGN ON BOLLARD  
 EACH SPACE SHALL HAVE THIS SIGN DISPLAYED PER ADA CODE  
 SIGNAGE

LEGEND SYMBOL



**NOTES:**  
 1) SYMBOL TO BE PAINTED IN ALL HANDICAPPED SPACES.  
 2) SYMBOL, PAINT AND SIGNAGE TO CONFORM TO AMERICANS WITH DISABILITIES ACT (ADA).  
 3) ALL VAN ACCESSIBLE SPACES SHALL HAVE "VAN ACCESSIBLE" PLATE INSTALLED ON SIGN POST BELOW HANDICAP SIGN.



**F** ADA SPACE  
 C2 NTS

**NOTES:**  
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0	02/26/2025	ISSUED FOR COMMENT	CBA	JRC
REV	DATE	DESCRIPTION	BY	CHK

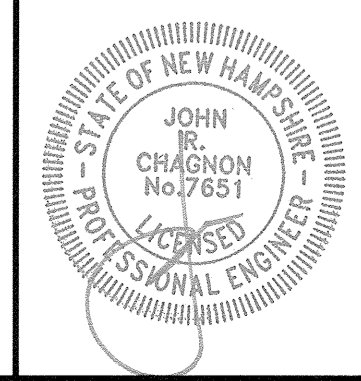
**SITE PLAN**

**HALEY WARD**  
 ENGINEERING | ENVIRONMENTAL | SURVEYING  
 200 Griffin Rd, Unit 14  
 Portsmouth, NH 03801  
 603.430.9282  
 WWW.HALEYWARD.COM

**GUNDALOW COMPANY**  
 TAX MAP 201 LOT 17 WENTWORTH HOUSE ROAD PORTSMOUTH, NH

**DETAILS**

DATE	JANUARY 2025	SCALE	N.T.S.
DRAWN BY	CBA	DESIGNED BY	JRC
CHECKED BY	JRC	PROJECT No.	5010185.2625
FIELD BOOK AND PAGE	FB 328 PG 57	DRAWING No.	REV



**SHEET 5 - D2** 0

FILE LOCATION: P:\WORK\0185\SEA\_LEVEL\LLC\2025\WENTWORTH RD., PORTSMOUTH, NH\2025-C-05.DWG, 2025-02-27, 11:50 AM

City of Portsmouth Planning Department  
City Hall  
1 Junkins Ave  
Portsmouth, NH 03801

**Subject: Authorization for General Contractor to Submit Special Exception Permit**

909 West End, LLC, the legal owner of property located at 909 Islington St. Portsmouth, NH grants permission to Chinburg Builders, Inc. to act on their behalf in matters related to Special Exception Permit application, including providing necessary documentation, engaging in communications, and addressing any requirements set forth by the City Planning Department.

Best regards,

Eric Chinburg,  
909 West End, LLC





---

HALEY WARD

200 Griffin Road, Unit 14, Portsmouth, NH 03801  
Phone (603) 430-9282 Fax 436-2315

4 March 2025

Peter Stith, TAC Chair  
City of Portsmouth  
1 Junkins Avenue  
Portsmouth, NH 03801

**RE: Request for TAC Workshop Review at 909 Islington Street, Tax Map 172, Lot 7**

Dear Mr. Stith and TAC Members:

On behalf of Chinburg Builders and Louis Restaurant (the Applicants), we are pleased to submit the attached plans and supporting documents for **Workshop Review** for the above-mentioned project and request that we be placed on the agenda for your **March 11, 2025, TAC Workshop Meeting**. The project is the proposed fit-up to accommodate a Proposed 3,170 square-foot restaurant located in Suite 15 within the existing building at 909 Islington Street with the associated and required site improvements. We are requesting the Technical Advisory Committee (TAC) review the project as a part of the approval process, specifically in regard to on-site parking and the requirement for a Conditional Use Permit at the site.

The proposed restaurant conversion is an allowable use under the current zoning ordinance, subject to a special exception with the Portsmouth Zoning Board, which has been granted. The fit-up adheres to all applicable design, safety, and operational standards outlined in the ordinance, including building code compliance, and compatibility with surrounding commercial uses. The restaurant will complement the surrounding commercial and mixed-use environment. Its design will blend seamlessly with the existing architecture, and no significant alterations to the building's exterior are proposed. We believe that the location has sufficient parking capacity to accommodate the expected number of patrons and staff, given the alternating peak hours of demand. More data in this regard will be produced for discussion at the meeting. Delivery and service vehicles will utilize designated loading areas to avoid disrupting traffic flow. The site's proximity to pedestrian-friendly infrastructure further reduces the likelihood of traffic-related issues.

Since no additional parking is being provided on site in this request, the application will require a Conditional Use Permit from the Planning Board. We will supply additional information for that request, but we want to review the uses and timing of parking demands, as well as our application benefits and Ordinance Conformance, in a preliminary sense, with the Technical Advisory Committee.



We submit that the application conforms to the Portsmouth Ordinance Sections, repeated below with comments in **bold** text, as follows:

Section 10.1112.141: An application for a conditional use permit under this section shall include a parking demand analysis demonstrating that the proposed number of off-street parking spaces is sufficient for the proposed use. **The developer is gathering information to complete a Parking Demand Analysis and will submit the results for review at the TAC Workshop meeting.**

Section 10.1112.142: An application for a conditional use permit under this section shall identify permanent evidence-based measures to reduce parking demand, including but not limited to provision of rideshare/micro transit services or bike share station(s) servicing the property, proximity to public transit, car/van-pool incentives, alternative transit subsidies, provisions for teleworking, and shared parking on a separate lot subject to the requirements of 10.1112.62. **The location of the site in close proximity to significant residential properties within walking distance, the Coast bus stop at Plaza 800, as well as the parking which is available to the restaurant use in the evening when the commercial tenants parking demand is low reduce the actual parking demand to an acceptable level based on the available supply.**

Section 10.1112.143: The Planning Board may grant a conditional use permit only if it finds that the number of off-street parking spaces required or allowed by the permit will be adequate and appropriate for the proposed use of the property. In making this determination, the Board may accept, modify or reject the findings of the applicant's parking demand analysis. **Since the parking supply is currently sufficient for existing use, and the proposed improvements parking demand will be at different peak times, we submit that the available parking is adequate.**

Section 10.1112.144: At its discretion, the Planning Board may require more off-street parking spaces than the minimum number requested by the applicant or may allow fewer spaces than the maximum number requested by the applicant. **We will leave it to the Planning Board to determine if the parking supply is adequate and if this sections adjustments are applicable to this project.**

We look forward to an in-person presentation and TAC review of this submission.

Sincerely,



John Chagnon, PE  
Senior Project Manager

P:\NH\5010185-Sea\_Level\_LLC\2625-Wentworth Rd., Portsmouth-JRC\03-WIP\_Files\Applications\Portsmouth Site Plan\TAC Workshop Submission Letter 2-28-25.doc

Tenant will be occupying Suite 15

Existing Exterior Elevations



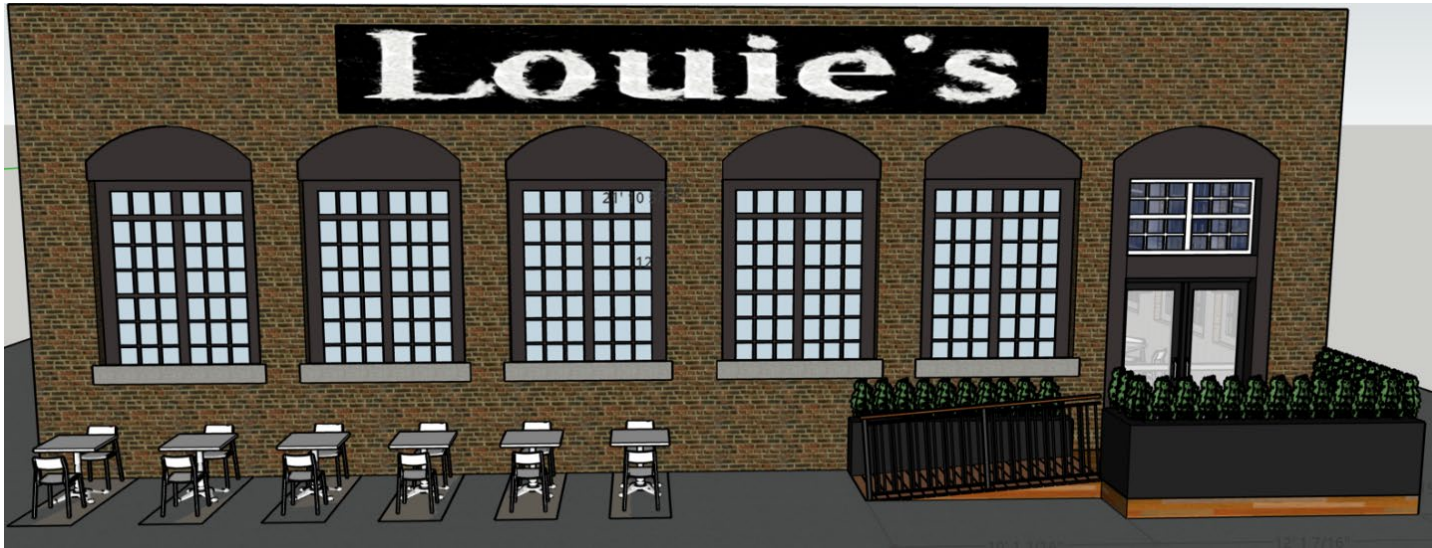




Proposed Exterior Elevation







Existing Interior of Suite 15







Proposed Interior Floor Plan / Renderings









# LOUIE'S RESTAURANT

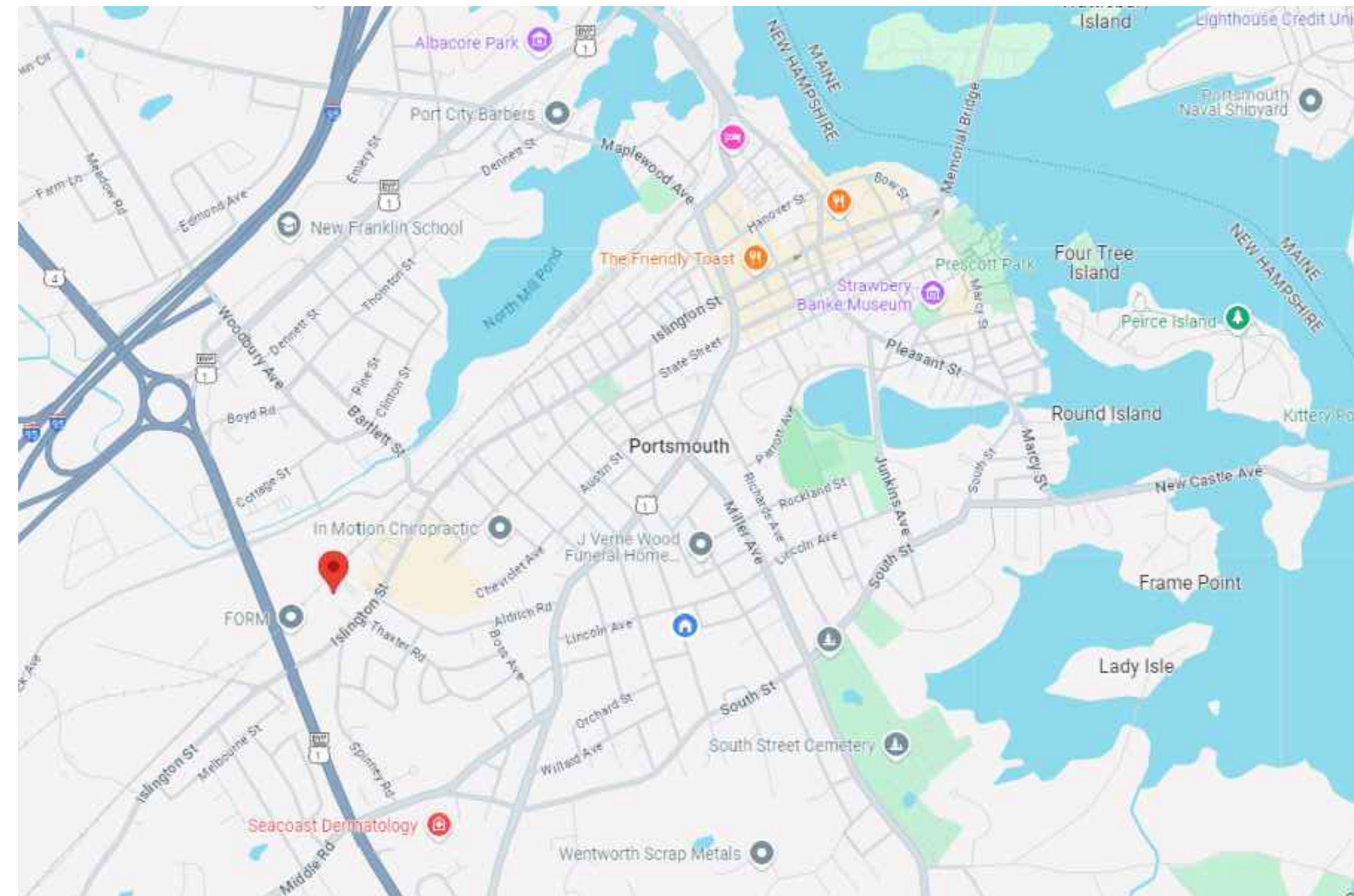
## INTERIOR TENANT FIT-OUT

909 ISLINGTON STREET - SUITE #13  
PORTSMOUTH, NH 03801

### ABBREVIATIONS

#	NUMBER	J	JAMB
&	AND	JAN	JANITOR
@	AT	LAM	LAMINATE
+/-	PLUS OR MINUS	LAV	LAVATORY
AB	ANCHOR BOLT	LOC	LOCATION
ACT	ACOUSTIC TILE	LP	LOW POINT
AFF	ABOVE FINISH FLOOR	MACH	MACHINE
ALUM	ALUMINUM	MAS	MASONRY
APPROX	APPROXIMATE	MAX	MAXIMUM
BD	BOARD	MECH	MECHANICAL
BLDG	BUILDING	MET	METAL
BLKG	BLOCKING	MISC	MISCELLANEOUS
CH	CEILING HEIGHT	MFR	MANUFACTURER
CJ	CONTROL JOINT	MIN	MINIMUM
CLG	CEILING	MTG	MOUNTING
CMU	CONCRETE MASONRY UNIT	NO	NUMBER
CONC	CONCRETE	NPS	NOMINAL PIPE SIZE
CONST	CONSTRUCTION	NIC	NOT IN CONTRACT
CONT	CONTINUOUS	OC	ON CENTER
DBL	DOUBLE	OPP	OPPOSITE
DIA	DIAMETER	OH	OVERHEAD DOOR
DIM	DIMENSION	PLAS	PLASTIC
DN	DOWN	PT	PRESSURE TREATED
DWGS	DRAWINGS	RO	ROUGH OPENING
EA	EACH	REQD	REQUIRED
ELEV(S)	ELEVATION(S)	RM	ROOM
EL	ELEVATOR	S	SILL
ELECT	ELECTRICAL	SCH	SCHEDULE
EQ	EQUAL	SIM	SIMILAR
ETC	ETCETERA	SP	SPACE
EXIST	EXISTING	SQ	SQUARE
EXPAN	EXPANSION	SS	STAINLESS STEEL
EXT	EXTERIOR	SPEC	SPECIFICATIONS
FFE	FINISH FLOOR ELEVATION	STL	STEEL
FIBGL	FIBERGLASS	TOM	TOP OF
FIN	FINISH	TOS	TOP OF MASONRY
FND	FOUNDATION	TOS	TOP OF STEEL
FT	FOOT/FEET	TYP	TYPICAL
GALV	GALVANIZED	UL	UNDERWRITERS LABORATORY
GWB	GYPSPUM WALLBOARD	UH	UNIT HEATER
H	HIGH	UTIL	UTILITY
HD	HAND	VB	VAPOR BARRIER
H.D.	HOT DIPPED	VF	VERIFY IN FIELD
HDRM	HEADROOM	W	WITH
HM	HOLLOW METAL	WH	WINDOW HEAD
HORIZ	HORIZONTAL	WJ	WINDOW JAMB
HP	HIGH POINT	WP	WORK POINT
HT	HEIGHT	WS	WINDOW SILL
HVAC	HEATING VENTILATING AND AIR CONDITIONING	WWF	WELODED WIRE FABRIC
IA	INTAKE AIR		
INSUL	INSULATION		

### LOCATION MAP



LOUIE'S RESTAURANT  
909 ISLINGTON STREET - SUITE #13  
PORTSMOUTH, NH 03801

### GENERAL NOTES

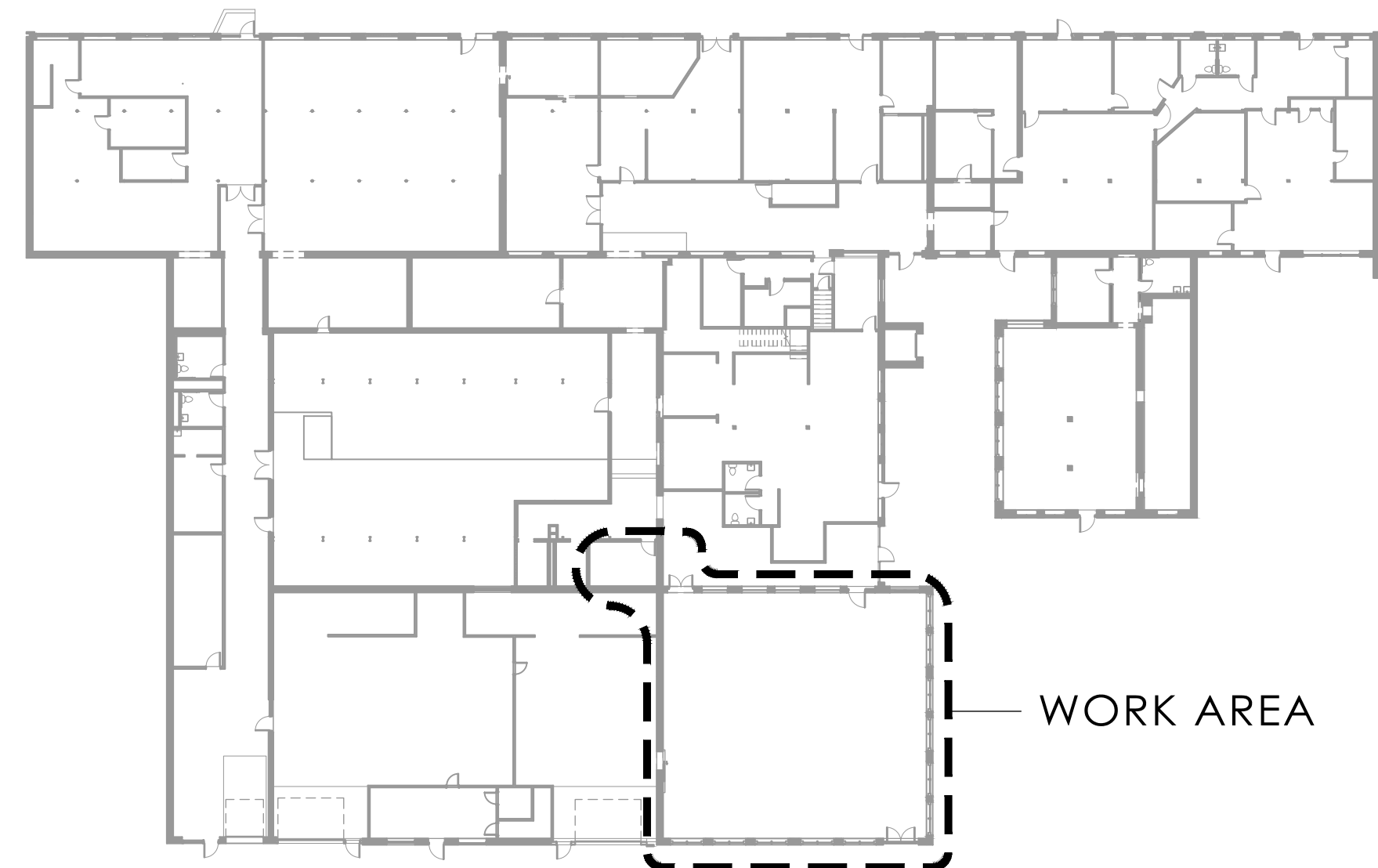
- IT IS THE RESPONSIBILITY OF ALL CONTRACTORS TO CAREFULLY EXAMINE ALL DRAWINGS, SPECIFICATIONS AND JOB CONDITIONS IN ORDER TO COORDINATE THEIR WORK WITH THAT OF THE OTHER TRADES, THROUGH THE GENERAL CONTRACTOR'S SUPERINTENDENT ON THE JOB, SO AS TO AVOID CONFLICT IN THE PLACING OF MATERIALS AND EQUIPMENT BY THE TRADES IN THE SPACES SHOWN.
- PATCH AND MATCH ALL EXISTING MATERIALS THAT ARE DAMAGED, DISTURBED, OR LEFT UNFINISHED CAUSED BY ANY PROCESS OF THE THE CONSTRUCTION UNDER THIS CONTRACT.
- CONTRACTORS TO VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD PRIOR TO COMMENCING WORK UNDER THIS CONTRACT.
- PROVIDE SEALANT AT ALL JOINTS OF DISSIMILAR MATERIALS.
- ALL EXISTING ITEMS THAT ARE REMOVED AND WHICH ARE SALVAGEABLE ARE THE PROPERTY OF THE OWNER AND ARE TO BE TURNED OVER TO THE OWNER. ANY ITEMS NOT WANTED BY THE OWNER ARE TO BE REMOVED FROM THE SITE BY THE GENERAL CONTRACTOR.
- FURNISH AND INSTALL ALL TEMPORARY FENCES AS REQUIRED TO PROTECT THE PUBLIC, EXISTING BUILDING AND NEW WORK.
- ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE STATE, LOCAL, AND NATIONAL CODES, AND OSHA REQUIREMENTS.
- WHEREVER WALL ARE TO BE PAINTED IT SHALL INCLUDE ALL DOORS AND FRAMES, TRIM, PIPING, ETC. THAT ARE PART OF, OR ATTACHED TO THE WALLS. IN AREAS OF PATCHED WALLS, WALLS SHALL BE PAINTED FROM FLOOR TO CEILING AND TO THE NEAREST CORNER. THERE SHALL BE NO "PATCH PAINTING".
- COMPLIANCE WITH MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION CODE TO BE THE RESPONSIBILITY OF THE CONTRACTOR.

### SYMBOLS

WINDOW TYPE	
DOOR NUMBER	
ROOM/SPACE NUMBER	
REVISION	
REVISION CLOUD	
EXTERIOR ELEVATION	
INTERIOR ELEVATION	
FLOOR ELEVATIONS / CENTER LINES	
BREAK LINE	
COLUMN GRIDS	
BUILDING SECTION	
PARTITION TYPE	
ENLARGED REFERENCE	
NOT INCLUDED IN SCOPE OF WORK	

### DRAWING LIST

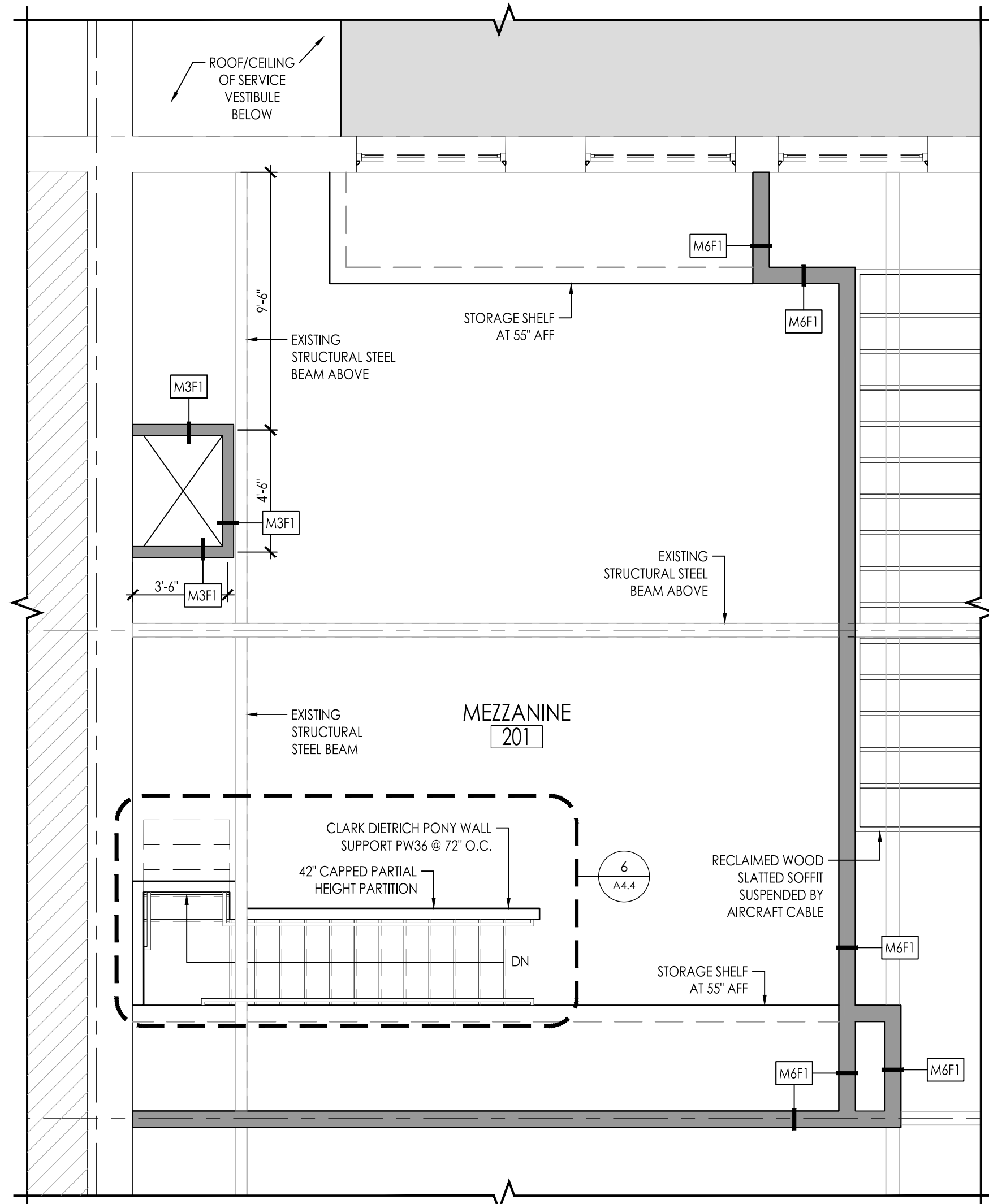
<b>COVER</b>	
A0.1	PROJECT INFORMATION
LS1.1	LIFE SAFETY PLAN & CODE INFORMATION
AC1.1	ACCESSIBILITY DETAILS
<b>ARCHITECTURAL</b>	
DT.1	UNIT DEMOLITION FLOOR PLAN
A1.1	OVERALL UNIT FLOOR PLAN & MEZZANINE PLAN
A1.1A	OVERALL UNIT & MEZZANINE REFLECTED CEILING PLAN
A3.1	UNIT SECTIONS
A4.1	ENLARGED BAR/KITCHEN EQUIPMENT PLAN & SCHEDULE
A4.2	ENLARGED BAR/KITCHEN POWER LOCATIONS
A4.3	ENLARGED WINE ROOM & INTERIOR ELEVATIONS
A4.4	ENLARGED PLANS & ELEVATIONS OF STAIRS & RAMPS
A5.1	DETAILS, ENLARGED PLANS & ELEVATIONS OF STAIRS & RAMPS
A6.1	DOOR & INTERIOR FINISH SCHEDULE & WALL TYPES
F1.1	OVERALL UNIT FINISH PLAN



1 OVERALL BUILDING KEY PLAN  
SCALE: 1/32" = 1'-0"

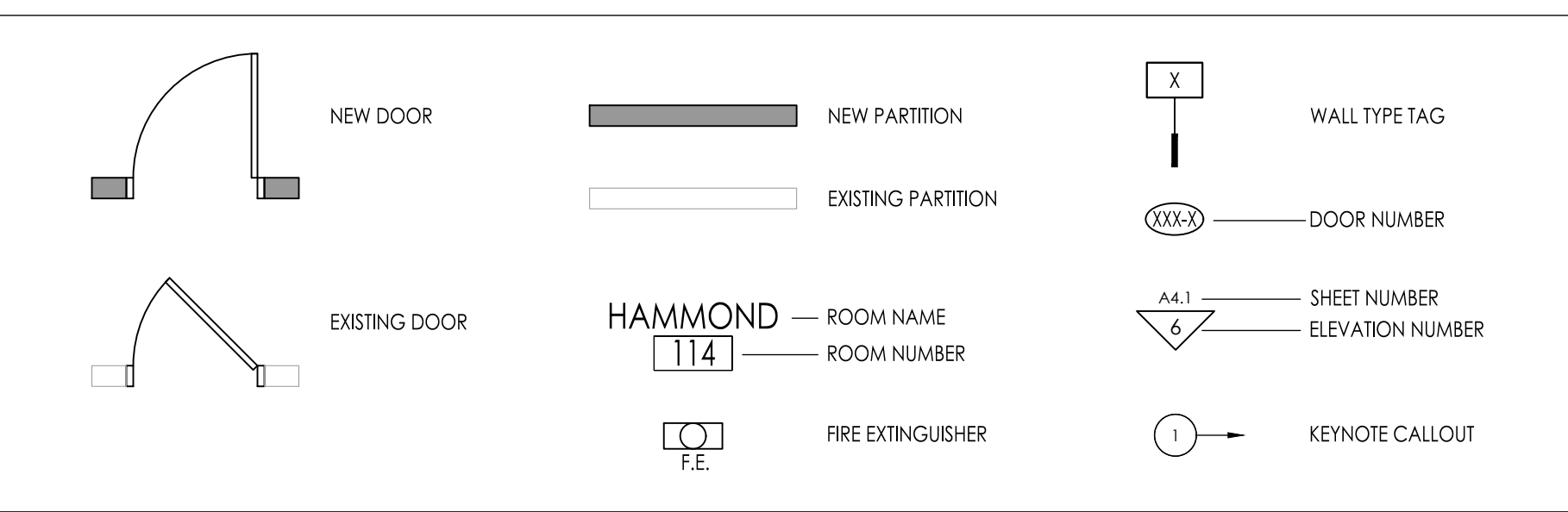
<p>Owner</p> <p><b>Louie's Restaurant, LLC.</b> 909 Islington Street - Suite #13 Portsmouth, NH 03801</p>																																		
<p>Architectural</p> <p><b>PORT ONE ARCHITECTS</b> 959 Islington Street Portsmouth, NH 03801 603.436.8891 info@portonearchitects.com <small>COPYRIGHT © 2024 BY PORT ONE ARCHITECTS, INC. NO REUSE WITHOUT PERMISSION</small></p>																																		
<p>Interior Design</p> <p><b>Quill DESIGN</b> Yarmouth, ME</p>																																		
<p>Contractor</p> <p><b>CHINBURG PROPERTIES</b> DEVELOP • BUILD • MANAGE 3 Penstock Way Newmarket, NH 03857</p>																																		
<p>Seal</p>																																		
<p>REVISION HISTORY</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 10%;">Rev. No.</th> <th style="width: 70%;">Description</th> <th style="width: 20%;">Date</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </tbody> </table>		Rev. No.	Description	Date																														
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<p>Scale <b>As Noted</b></p>	<p>Drawn By: <b>BG</b> Reviewed By: <b>EM</b></p>																																	
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<p>Sheet No. <b>A0.1</b></p>																																		





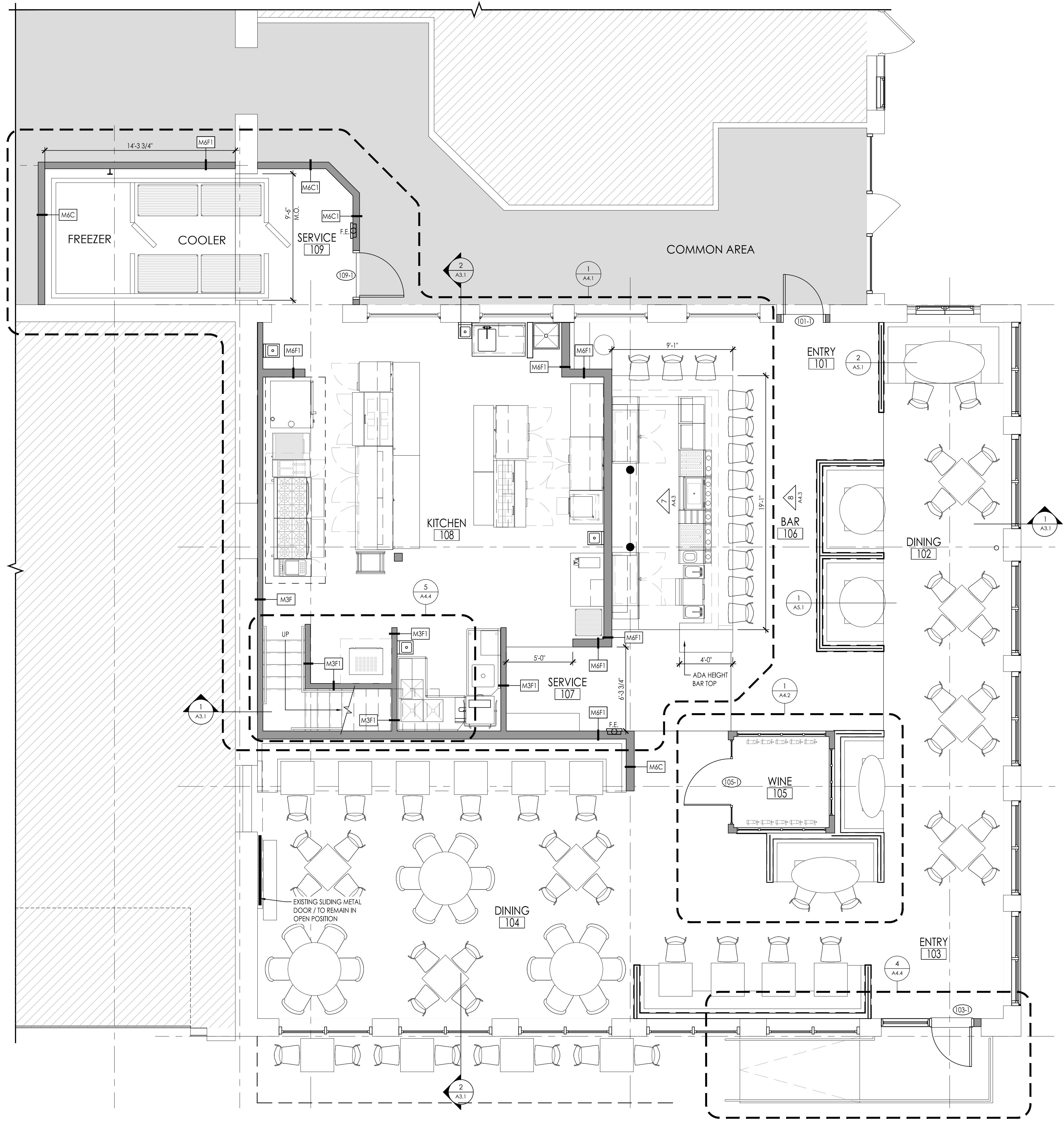
2 MEZZANINE FLOOR PLAN  
SCALE: 1/4" = 1'-0"

LEGEND:



GENERAL CONSTRUCTION NOTES:

- PRIME ALL SURFACES TO BE PAINTED AND PROVIDE TWO FINISH COATS LOW V.O.C. INTERIOR FINISH PAINT. COLOR AS SPECIFIED OR AS APPROVED BY OWNER.
- ALL INFILL OF DOORS/WALLS/OPENINGS SHOULD MATCH THE EXISTING CONSTRUCTION UNLESS NOTED OTHERWISE.
- EMERGENCY LIGHTING AND SIGNAGE TO BE PROVIDED IN ACCORDANCE WITH NFPA 101, ALONG THE PATH OF EGRESS INCLUDING TO A PUBLIC WAY AT THE EXTERIOR OF THE BUILDING.
- EMERGENCY EGRESS PATH TO BE INDICATED WITH SIGNAGE IN ACCORDANCE WITH NFPA 101.
- ELECTRICAL REQUIREMENTS SHOWN CONCEPTUALLY AND SHOULD BE PROVIDED IN ACCORDANCE WITH APPLICABLE CODES.
- DIMENSIONS SHOWN ON PLANS INDICATE MEASUREMENT FROM CENTER OF STUD PARTITION UNLESS OTHERWISE NOTED AS CLEAR DIMENSION FROM FINISH FACE. NOTIFY THE ARCHITECT OF VARIANCES FROM THE DIMENSIONS SHOWN.
- ALL EXPOSED GYPSUM BOARD EDGES TO HAVE METAL EDGE BEAD.
- CLEAN AND TEST MECHANICAL EQUIPMENT AND AIR HANDLERS. REPLACE FILTERS IN ALL AIR HANDLERS.
- CONTRACTORS TO VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD PRIOR TO COMMENCING WORK UNDER THIS CONTRACT.
- PROVIDE BLOCKING FOR ALL MILLWORK, FIXED FURNITURE, AND A/V DEVICES. ALL CONCEALED LUMBER AND BLOCKING TO BE FIRE TREATED. COORDINATE BLOCKING REQUIREMENTS WITH FURNITURE INSTALLERS AS REQUIRED FOR OFFICE LAYOUTS.
- WHERE BLOCKING MODIFICATION IS REQUIRED TO EXISTING WALLS, CARRY ALLOWANCE TO PATCH, REPAIR, AND PAINT AS NECESSARY.
- ALL FLOOR AND WALL PENETRATION FOR PIPING SHALL BE FULLY SEALED IN ACCORDANCE WITH THE APPLICABLE BUILDING AND FIRE CODES.
- PROVIDE MOISTURE RESISTANT GYPSUM WALL BOARD (WET SIDE) IN LAVATORIES AND JANITORS CLOSET.
- THE CONTRACTOR SHALL SUPPLY AND INSTALL HAT SHELF AND CHROME HANG ROD IN ALL COAT CLOSETS. HAT SHELF SHALL BE BIRCH W/ CLEAR LACQUER FINISH.
- CONTRACTORS SHALL BE IN COMPLIANCE TO LANDLORD'S TENANT DESIGN MANUAL AND TENANT GC CONSTRUCTION RULES & REGULATIONS.
- REFERENCE TENANT GC CONSTRUCTION RULES & REGULATIONS FOR CITY OF NEWTON, UTILITIES, & REQUIRED VENDOR DIRECTORY.



1 OVERALL UNIT FLOOR PLAN  
SCALE: 1/4" = 1'-0"

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**Quill DESIGN**  
Yarmouth, ME

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Seal  
LICENSED ARCHITECT  
EVAN T. MULLER  
No. 08431  
STATE OF NEW HAMPSHIRE

REVISION HISTORY		
Rev. No.	Description	Date

Project  
**LOUIE'S PORTSMOUTH, NH**  
INTERIOR ALTERATIONS  
TENANT FIT-OUT

Phase  
PERMIT DOCUMENTS

Project No. **24-065** Date **NOV 22, 2024**  
Scale **As Noted** Drawn By: **BG**  
Reviewed By: **EM**

Sheet Contents  
**OVERALL UNIT FLOOR PLAN & MEZZANINE PLAN**

Sheet No. **A1.1**







